

**MUNICIPALITY OF OTONABEE-SOUTH MONAGHAN
PROPOSAL FOR CONSTRUCTION AND EXPANSION OF FIRE STATION #3
BUILD PROPOSAL**



Department of Fire and Emergency Services

Fire Station #3 Expansion



THE TOWNSHIP OF OTONABEE-SOUTH MONAGHAN
#20 Third Street, Keene ON K0L 2G0



**TOWNSHIP OF OTONABEE-SOUTH MONAGHAN
PROPOSAL FOR CONSTRUCTION and EXPANSION OF FIRE STATION #3**

NAME OF FIRM OR INDIVIDUAL

ADDRESS

CITY

PROVINCE

POSTAL CODE

TELEPHONE NO.

FAX NO.

NAME OF PERSON SIGNING FOR FIRM

POSITION OF PERSON SIGNING FOR FIRM

DO NOT REMOVE ANY PAGES FROM THIS PROPOSAL DOCUMENT. FAILURE TO RETURN ALL PAGES WITH YOUR BID MAY INVALIDATE YOUR BID.



TOWNSHIP OF OTONABEE-SOUTH MONAGHAN PROPOSAL FOR CONSTRUCTION and EXPANSION OF FIRE STATION #3

A. DEFINITIONS

Municipality The Township of Otonabee-South Monaghan, its successors and assigns.

Canadian Business means a commercial enterprise that is incorporated, pursuant to the laws of Canada and which has ongoing business activities in Canada

Canadian-Made Good means a good that meets any **one** of the following criteria:

- wholly manufactured or originating in Canada
- at least 51% of the total direct costs of producing or manufacturing the good have been incurred in Canada
- labelled as “Made in Canada” or “Product of Canada”

Canadian Service means a service wholly provided by individuals (natural persons) located in Canada.

Company The person(s), firm(s) or corporation(s) to whom the Municipality has awarded the contract.

Construction means construction, reconstruction, demolition, repair or renovation of a building, structure or other civil engineering or architectural work and includes site preparation, excavation, drilling, seismic investigation, the supply of products and materials, the supply of equipment and machinery if they are included in and incidental to the construction, and the installation and repair of fixtures of a building, structure or other civil engineering or architectural work, but does not include professional consulting services related to the construction contract unless they are included in the procurement.

Contract The purchase order authorizing the company to do the work, the quotation call, the bonds or security (if any), the company’s Quotation, and change notices, appendices, and addenda (if any).

Domestic Supply Chain Plan” (DSCP) means a procurement submission document that identifies the origin and supply sources of major goods and services proposed used to evaluate and prioritize Ontario-made and Canadian-made content under the Buy Ontario Procurement Directive framework

DSCP Total Value means the DSCP total value entered reflected in the DSCP.

Equipment The material, machinery, assemblies, instruments, devices or articles as the case may be, or components thereof, which are the subject of the contract.

Major Goods means durable construction materials, systems or components that are essential to



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ensuring the operational readiness or performance of the deliverable, and include:

- structural materials: concrete, steel and other metals, lumber, stone, aggregates
- building envelope components: windows, glass, roofing systems, bricks
- mechanical and electrical systems: HVAC units, generators, elevators
- specialty items: prefabricated panels, major fixtures
- fixtures, furniture and equipment
- transit fleet vehicles

Ontario Business means a business entity that is incorporated, registered or carrying on business in the Province of Ontario under applicable Ontario or Canadian law.

Ontario Service means a service wholly provided by individuals (natural persons) located in Ontario.

Ontario Made Good means a good that meets any one of the following criteria:

- wholly manufactured or originating in Ontario at least 51% of the total direct costs of producing or manufacturing the good have been incurred in Ontario.

Project Manager Agent for the Municipality for carrying out this agreement and shall be the General Contractor

Subcontractor All person(s), firm(s) or corporation(s) having a contract with the company for any part of the work.

Work All materials, equipment fixtures, services, supplies, and acts required to be done, furnished and/or performed by the company.

B. INFORMATION TO BIDDERS

1. PROPOSALS

Proposals are being called by the Township of Otonabee-South Monaghan.

Proposals will be received by:

**THE CORPORATION OF THE TOWNSHIP OF OTONABEE-SOUTH MONAGHAN
MUNICIPAL OFFICE
20 THIRD STREET
KEENE, ONTARIO K0L 2G0
ATTN: OFFICE OF THE CAO/CLERK**



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2. PROPOSAL COPIES

Five (5) copies of the Proposal, properly signed and sealed in the envelope provided, shall arrive at the *Office of the CAO Clerk-Treasurer, of the Township of Otonabee-South Monaghan, Municipal Office, 20 Third Street, Keene, Ontario, K0L 2G0.*

3. PROPOSAL CLOSING

Submissions shall be received and time/date stamped by the Municipality on or before
12:00 noon local time, on June 29, 2026

according to the instructions in this Request for Proposal. Late submissions cannot be accepted after the closing time and shall be returned to the company unopened. No part of the submission will be accepted by facsimile or e-mail. Proposals must be submitted on the attached form of Proposal. Proposals must not be restricted by a statement added to the Proposal form, or by a covering letter, or by alterations to the Proposal forms supplied, unless otherwise provided herein. The Proposal form must be signed by a designated signing officer of the company. If a joint bid is submitted, it must be signed and addressed on behalf of each of the bidders.

4. PROPOSAL OPENINGS

A Public Proposal Opening shall take place at *the Township of Otonabee-South Monaghan, Municipal Office, 20 Third Street, Keene, Ontario, K0L 2G0* at

13:00 HOURS LOCAL TIME ON June 26, 2026

in accordance with the *Township of Otonabee-South Monaghan* purchasing and tender policies. At which time all bids shall be forwarded to the Fire Chief for review.

5. SITE VISIT

A Mandatory Site Visit is scheduled for

June 2, 2026 commencing at 10:00 am.

The Fire Chief will be on hand to address any questions pertaining project and its operation. A tour of the facilities and property will be undertaken. Attendance will be taken. The proceedings of this visit will not be recorded nor provided to anyone after the meeting. All those bidding must attend.

6. PROPOSAL ACCEPTANCE

The Municipality reserves the right to accept or reject any or all proposals, in whole or in part. The lowest proposal or any proposal will not necessarily be accepted.



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7. PURPOSE

For providing complete "Turn Key", expansion of Fire Station #3, located at 353 Third Line, Township of Otonabee-South Monaghan, Ontario. Construction is to be, as per the plans, drawings, specifications, conditions and addenda during tendering as set out in the attached documentation.

8. QUESTIONS DURING THE SUBMISSION PERIOD

The Project Manager, which shall be the General Contractor, will be providing Project Management Services to the Township of Otonabee-South Monaghan for the duration of this Project. The Fire Chief will answer any inquiries during the submission period.

Proponents are requested not to contact any other individuals within the Municipality regarding this Request for Proposal.

9. ADDENDA

During the submission period, Proponents may be advised by written Addenda of required additions, deletions, or alterations to requirements of the Request for Proposal documents. Addenda will be distributed to Proponents by **email**. Only those instructions that are confirmed by Addenda shall become an integral part of the Request for Proposal and shall be considered in arriving at the Fixed Fee. Proponents shall state the numbers of Addenda received during the submission period including any bound into the Request for Proposal documents in the space provided on the Quotation Form. If no Addenda have been received, please insert a zero.

10. AMENDMENTS TO "STANDARD TERMS AND CONDITIONS FOR SUPPLY OF EQUIPMENT AND MATERIALS & SERVICES"

All items in this section supersede contents of "Standard Terms and Conditions for Supply of Equipment and Materials and Services" attached.
None.

11. Municipal Buy Ontario Procurement Directive

In order to meet the mandatory eligibility requirements established by the Municipal Buy Ontario Procurement Directive, **bidders shall submit the following:**

- (a) An "**Attestation**" to supply Ontario-Made Goods and Ontario Services and/or Canadian-Made Goods and Canadian Services **with a minimum value of 51% of the Bid Price**. The Attestation (Part "H") must be submitted as part of the Bid, failure to provide may result in disqualification of the bid submission.
- (b) **Domestic Supply Chain Plan** ("DSCP") in accordance with the following requirements (**construction only**):
 - i. The DCSP shall identify the source and value for each major goods and services



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- required to complete the Work, including goods and/or services supplied by subcontractors;
- ii. The DSCP shall be submitted substantially in the form attached as Part G, failing to provide may result in disqualification of the bid submission;
 - iii. The DSCP will not be scored, however the DSCP Total Value must be at least 51% of the Bid Price. If the DSCP Total Value is less than 51% of the Bid Price, the bid may be rejected;
 - iv. The successful Proponent's DSCP shall become part of the Contract. The Contractor shall make commercially reasonable efforts to maintain the proposed sourcing and supply chain commitments during the term of the Contract and shall notify the County of any material changes affecting the DSCP.

For the purpose of bid evaluation and contract award, the County may rely on the bidder's submitted Attestation and DSCP without further verification. The successful bidder's compliance with the Attestation and the DSCP during performance of the Work will be verified and enforced as part of the Evaluation of Performance of the contract.

In determining the source of major goods and services in a bidder's bid for the purposes of this section, the County may rely on the bidder's DSCP. Where two or more bidders offer the same highest proportion of Ontario-Made Goods and Ontario Services, a ten percent (10%) evaluation advantage will be applied equally to each such bidder's Total Bid Price.

When completing the DSCP, bidders shall not include the value of Ontario-Made Goods/Services when calculating the value for Canadian-Made Good/Services.

The bidder with the highest proportion of Ontario-Made Goods and Ontario Services followed by Canadian-Made Goods and Canadian Services, will be determined by the following formula:

$$\text{Proportion} = [A + A + B] / \text{Total Bid Price} \times 100$$

Where:

A= Value of Ontario-Made Goods and Ontario Services

B= Value of Canadian-Made Goods and Canadian Services

Total Bid Price = The price being used for the purpose of bid evaluation pursuant to this bid request

Example:

Bidder #1: Total Bid Price is \$1,000,000 and identifies \$250,000 as Ontario-Made Goods and Ontario Services and \$150,000 Canadian-Made Goods and Canadian Services.

Proportion (Bidder 1) = $[\$250,000 + \$250,000 + \$150,000] / \$1,000,000 \times 100 = 65\%$

Bidder #2: Total Bid Price is \$1,040,000 and identifies \$420,000 as Ontario-Made Goods and Services and \$100,000 Canadian-Made Goods and Canadian Services.

Proportion (Bidder 2) = $[\$420,000 + \$420,000 + \$100,000] / \$1,040,000 = 90.4\%$

Results:

Bidder #2 has a higher proportion of Ontario/Canadian-Made Goods/Services and therefore would receive a 10% reduction (\$104,000) to their evaluated Total Bid Price: \$1,040,000 – \$104,000 = \$936,000.

Bidder #2 would win the Contract as their evaluated Total Bid Price (\$936,000) is lower than Bidder #1's Total Bid Price of \$1,000,000.

The Agreement price would be \$1,040,000 for Bidder #2.



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The calculation made pursuant to the above formula shall be expressed to one decimal place. Where the application of the formula results in more than one decimal place, the result shall be rounded to one decimal place, with the value rounded up where the second decimal place is five or greater and rounded down where the second decimal place is less than five.

In determining the source of major goods and services in a bidder's bid for the purposes of this section, the Municipality may rely on the bidder's DSCP. Where two or more bidders offer the same highest proportion of Ontario-Made Goods and Ontario Services followed by Canadian-Made Goods and Canadian Services, the ten percent (10%) evaluation advantage will be applied equally to each such bidder's Total Bid Price.

The County reserves the right to audit the successful bidder during the term of the contract and for a period of two years thereafter, to verify the accuracy and ongoing truth of the content of their DSCP. The successful bidder shall provide full and timely cooperation with any audit carried out, including providing access to applicable records, personnel, and facilities and by responding promptly to reasonable requests for information and clarification. Failure by the successful bidder to comply with the audit or with their DSCP may be considered a default and will entitle the County to pursue any and all remedies against the successful bidder, including payment holdback, termination of the contract, and suspension of the successful bidder from future bid opportunities.

12. EVALUATION OF PROPOSAL

The Fire Chief of the Municipality will review the Submissions. Only those submissions, which have met the mandatory requirements and are deemed complete, will be evaluated. Submissions which are deemed incomplete may not be considered further. The Municipality reserves the right to accept or reject any and all submissions. The evaluation of the Proposals by the Fire Chief will be based primarily on the following criteria being assessed not necessary in the order of appearance:

- (a) understanding of the project;
- (b) methodology/work plan;
- (c) schedule;
- (d) qualifications of project personnel;
- (e) proposal fee; and
- (f) ability and commitment to assign appropriate resources to complete the work in a timely fashion.

13. GENERAL INFORMATION

- (a) The projected construction start date is to commence upon awarding of Bid and be completed in full by December 1, 2026.
- (b) Failure to quote on all options set out herein may disqualify your proposal.
- (c) Preference will be given to all inclusive proposals.
- (d) The successful proposer will be entirely responsible for all costs, work and materials should



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they assign or transfer any portion of the proposal submitted and subsequently accepted.

- (e) The Municipality reserves the right to adjust or make minor changes to the design during the duration of the project, all subject to additional costs.

14. BONDING

a) BID BOND

All proposals shall provide a Certified Cheque equal to 10% of the total submitted price made payable to the Municipality. All BID BONDS shall be refunded to the Bidder upon awarding of the contract.

b) PERFORMANCE BOND

The successful proponent shall provide a Performance and Payment Bond as a requirement of contract equal to 50% of the total submitted price for the completed project. Upon the successful company shall have 14 days to furnish the required bond. The contract shall not be deemed accepted until the bond is provided.

The cheque of the successful proponent shall be retained until such a time as the Project signs off the project as **complete**.

15. INSURANCE, LIABILITY AND INDEMNITY

(a) WSIB

The successful bidder shall deliver a certified copy of the Firm's Public Liability and Property Damage Insurance Policy for the works, within ten (10) calendar days of receiving the Acceptance Notice. Coverage shall be at least \$2,000,000 per incident with the Municipality of Otonabee-South Monaghan named as insured. Failure to provide such proof shall result in cancellation of the Contract and forfeiture of the bid deposit.

The successful bidder shall also deliver proof of Workplace Safety Insurance Board Coverage within ten (10) calendar days of receiving the Acceptance notice.

(b) INSURANCE

The Contractor shall carry, in respect of all motor vehicles used by its staff in connection with work, public liability and property damage insurance in an amount not less than \$5,000,000 and in accordance with all applicable laws. The Contractor shall furnish the Owner evidence of such insurance upon request in the form of valid certificates of insurance in the amount set out above. The proponent, will, in addition to naming the Municipality as additional insured, also name His Majesty the King in the right of Ontario as additional insured for this proposal.

(c) LIABILITY



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The Municipality and any of its directors, officers, employees and agents (including the Project Manager) shall not be liable for any injuries the Contractor or any of its partners, directors, officers, employees and agents incur while performing any of the services required under this Agreement.

(d) INDEMNITY

The Contractor shall exonerate, indemnify and save harmless the Municipality and of its directors, officers, employees and agents (collectively referred to as the “Indemnified Parties”) from all costs, losses, damages, liabilities, judgements, claims, demands, suits, actions or other proceedings or any kind resulting from, connected with or attributed to anything done or omitted to be done by the Contractor or any of its partners, directors, officers, employees and agents in connection with the services provided (or required to be provided) under this proposal.

The Municipality shall be deemed to hold the provisions of this Section D that are for the benefit of the Municipality’s directors, officers, employees and agents and the other Indemnified Parties as defined above, in trust for all such Indemnified Parties as third party under this proposal.

16. SAFETY REQUIREMENTS

The Contractor shall conform to, and enforce strict compliance with the Construction Safety Act and Regulations made under that Act. The successful bidder, for purposes of the Occupational Health & Safety act, will be designated as the Constructor for this project and will assume all of the responsibilities of the Constructor set out in that Act and its regulations. See also Part “B”, Item 11 of “Standards Terms and Conditions”.

C. STANDARD TERMS AND CONDITIONS

1. CONFIDENTIALITY

All documentation and information obtained by Proponents in connection with this Proposal are the property of the Municipality and must be treated as confidential and shall not be used for any purpose other than responding to this request for proposal or fulfilling any subsequent Contract, if awarded. The Submission and any accompanying documentation submitted by the Proponents shall become the property of the Municipality and shall not be returned. The Submission and any accompanying documentation shall be subject to the provisions of the Municipal Freedom of Information and Protection and Privacy Act, R.S.O. 1990, as amended and therefore, proponents should identify any information in the Submission for which confidentiality is to be maintained by the Municipality and the Project Manager. Confidentiality of such information will be maintained by the Municipality and the Project Manager, except where an order by the Information and Privacy Commission or a court requires the Municipality and the Project Manager to do otherwise.

2. SUBMISSION OF PROPOSALS



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The Proposal must be signed by a designated signing officer of the bidding firm. If a joint proposal is submitted, it must be signed and addressed on behalf of each of the bidders. Proposals must be legible, written in ink or typewritten. Erasures, over-writing or strike outs must be initialled by the person signing on behalf of the company.

Proposals must be submitted in individually sealed envelopes provided by the Municipality and must clearly identify the name of company, address of company, and Proposal number on the outside of the envelope.

Proposals received after the closing time specified in the Proposal Call will not be considered.

3. CONTRACT DOCUMENTS AND ORDER OF PRECEDENCE

The contract documents shall consist of all the pages of the Proposal documents issued by the Municipality and the company's Proposal. Do not remove any pages from the Proposal document.

These documents, and portions thereof, take precedence in the order in which they are named above, notwithstanding the chronological order in which they are issued or executed. Amendments to the contract, in the form of Change Notices shall take precedence over the documents or portions thereof amended thereby.

Change notices, appendices and addenda to any contract document shall be considered part of such document.

The intent of the contract is the company shall supply equipment, materials, or services complete and suitable for the Municipalities intended use.

None of the conditions contained in the Bidder's standard or general (printed) conditions of sale shall be of any effect unless explicitly agreed to by the Municipality and set forth or specifically referred to therein.

The contract shall be governed and interpreted in accordance with the laws of the Province of Ontario.

4. CLARIFICATION OF PROPOSAL DOCUMENTS

Any clarification of the Proposal documents required by the Bidder prior to submission of its Proposal shall be requested through the Township of Otonabee-South Monaghan. The Bidder and the Municipality hereby agree that in no case shall oral arrangements be considered.

No office, agent or employee of the Municipality is authorized to alter orally any portion of these documents. During the period prior to submission of Proposals, alterations will be issued to Bidders as written addenda. The Bidder shall list in its Proposal all addenda that were considered when its Proposal was prepared.

5. PROOF OF ABILITY



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The Bidder may be required to show, in terms of experience and facilities, evidence of its ability, as well as that of any proposed subcontractor, to perform the work by the specified delivery date.

6. DELIVERY

Time shall be material and of the essence of the contract.
The company shall be responsible for arranging its work so that completion shall be as specified in the contract.

7. PRICING REQUIREMENT

Prices shall be in Canadian Funds, quoted separately for each item stipulated, F.O.B. the point specified therein.

All prices tendered shall include applicable taxes, customs duty, excise tax, freight, insurance and all other charges of every kind attributable to the work. Provincial Sales Tax and Goods and Services Tax shall be shown as extra, unless otherwise specified.

If the Bidder intends to manufacture or fabricate any part of the work outside of Canada, it shall arrange its shipping procedures so that its agent or representative in Canada is the Importer of record for customs purposes.

Except as may be provided elsewhere in this document, the prices Proposed shall not be subject to adjustment for any cost of the work to the company.

8. TERMS OF PAYMENT

All invoices and expense claims submitted by the Contractor shall be sent to the Municipality. All invoices shall indicate the percentage of work completed, the previous invoice total, the totals-to-date.

Unless progress payments or any alternate payment terms are specified in the contract, the contract price may be invoiced after delivery and shall be payable 30 days from receipt of invoice. The effect of any alternative payment terms, stated clearly in the Quotation will be considered in the evaluation of Quotations.

The Municipality shall have the right to withhold from any sum otherwise payable to the company such amount as may be sufficient to remedy any defect or deficiency in the work, pending correction of the same.

9. PATENTS AND COPYRIGHTS

The company shall at its expense, defend all claims, actions or proceedings against the Municipality based on any allegations that the work or any part of the work constitutes an infringement of any patent, copyright or other proprietary right and shall pay to the Municipality all costs, damages, charges and expenses, including its lawyers' fees on a solicitor and his own client basis occasioned to the Municipality by reason thereof.

The company shall pay all royalties and patent license fees required for the work.

If the work or any part thereof is in any action or proceeding held to constitute an infringement, the company shall forthwith either secure for the Municipality the right to continue using the work,



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or shall at the company's expense, replace the infringing items with non-infringing work or modify them so that the work no longer infringes.

10. ASSIGNMENT

The company shall not assign the contract or any portion thereof without the prior written consent of the Municipality.

11. LAWS AND REGULATIONS

The company shall comply with relevant federal, provincial and municipal statutes, regulations and by-laws pertaining to the work and its performance. The company shall be responsible for ensuring similar compliance by its suppliers and subcontractors.

The contract shall be governed by and interpreted in accordance with the laws of the Province of Ontario. The contractor shall conform to and enforce strict compliance with the Construction Safety Act, and Regulations made under that Act. The successful bidder, for purposes of the Occupational Health and Safety Act, will be designated as the Constructor for this project, and will assume all of the responsibilities of the Constructor set out in that Act and its regulations and shall be responsible for any costs to defend charges as a result of any violation.

12. CORRECTION OF DEFECTS

If at any time prior to one year (or specified warranty/guarantee period if longer than one year) after the actual delivery date of the equipment, material or service any part of the equipment or material becomes defective or is deficient or fails due to defect in design, material or workmanship, or otherwise fails to meet the requirements of the contract, then the company, upon request, shall make good every such defect, deficiency or failure without cost to the Municipality. The company shall pay all transportation costs for parts and/or equipment, and/or material both ways between the company's factory or repair depot and the point of use.

13. BID ACCEPTANCE

The Municipality reserves the right to award by item, or part thereof, groups of items, or parts thereof, or all items of the Proposal, and to award contracts to one or more bidders submitting identical Proposals as to price; to accept or reject any Proposal in whole or in part; to waive irregularities and omissions. If in so doing, the best interests of the Municipality will be served. No liability shall accrue to the Municipality for its decision in this regard.

Proposals shall be irrevocable for 60 days after the official closing time.

The acceptance of any Proposal is subject to appropriate funding acceptable to the Municipality. The placing in the mail or delivery to the address given in the Proposal of a notice of award to a bidder by the Municipality shall constitute notice of acceptance of contract.

14. PROPOSAL PROCEDURES



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Proposals will be called, received, evaluated, accepted and processed in accordance with the Municipality purchasing and tendering procedures.

15. DEFAULT BY COMPANY

- a) If the company; commits any act of bankruptcy; or if a receiver is appointed on account of its insolvency or in respect of any of its property; or if the company makes a general assignment for the benefit of its creditors; then, in any such case, the Municipality may, without notice; terminate the contract.
- b) If the company; fails to comply with any request, instruction or order of the Municipality; or fails to pay its accounts; or fails to comply with or persistently disregard statutes, regulations, by-laws or directives of relevant authorities relating to the work; or fails to prosecute the work with the skill and diligence; or assigns or sublets the contract or any portion thereof without the Municipality written consent; or refuses to correct defective work; or is otherwise in default in carrying out its part of any of the terms, conditions and obligations of the contract, then, in any such case, the Municipality may, upon expiration of ten days from the date of written notice to the company, terminate the contract.
- c) Any termination of the contract by the Municipality, as aforesaid, shall be without prejudice to any other rights or remedies the Municipality may have.
- d) If the Municipality terminates the contract, it is entitled to:
 - i) take possession of all of the work in progress and finish the work by whatever means the Municipality may deem appropriate under the circumstances;
 - ii) withhold any further payments to the company until its liability to the Municipality is ascertained;
 - iii) recover from the company loss, damage and expense incurred by the Municipality by reason of the company's default (which may be deducted from any monies due or becoming due to the company, any balance to be paid by the company to Municipality).

16. DISCLOSURE

The total number of Proposals and the name of each Bidder will be made available at the Public Proposal Opening. After the Proposal opening, requests may be submitted to the Municipality for the results, and only the total number of quotations and the name of each bidder as read out at the Proposal openings will be given in the reply.

17. CONTRACT CANCELLATION

The Municipality shall have the right, which may be exercised from time to time to cancel any uncompleted or unperformed portion of the work or part thereof. In the event of such cancellation, the Municipality and the company shall negotiate a settlement. The Municipality shall not be liable to the company for loss of anticipated profit on the cancelled portion or portions of the work.



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18. QUANTITIES

Where quantities are shown as approximate, they are not guaranteed to be accurate and are furnished without any liability on behalf of the Municipality and shall be used as a basis for comparison only.

D. SPECIFICATIONS

1. INTENT

To expand the Township of Otonabee-South Monaghan Fire Station #3 and provide a finished suitable product ready for occupancy.

2. GENERAL REQUIREMENTS

The successful applicant shall conduct work and construct the Fire Station #3 as per the attached schedules:

- (a) The General Contractor shall be considered the Project Manager. They are responsible for:
 - 1. Hiring and scheduling trades
 - 2. Weekly progress meetings
 - 3. Submission of invoices to the Township for payment
 - 4. Reporting any change orders
 - 5. Ensuring the station can continue to operate
- (b) Architectural Drawings and specifications
- (c) Structural Drawings and specifications
- (d) Mechanical Drawings and specifications
- (e) Electrical Drawings and specifications
- (f) Provide all labour as required
- (g) Provide all construction as per Ontario Building Code and local Building by-laws
- (h) Contractor to be responsible for removal and disposal of all refuse
- (i) Areas of construction to be kept sealed off from the remainder of building to avoid migration of dust and noise
- (j) Provide hook up and connection the source all utilities, hydro, propane gas, telecommunications, and computer networking as required
- (k) Provide all site preparation, development and landscaping excluding shrubbery
- (l) Ensure station remains operational during construction



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E. PRICES

The undersigned agrees to supply all labour, materials and equipment required to construct /expand and finish the project in accordance with Parts "A", "B", "C" and "D" of this Proposal for the following price:

Total Fixed Price: \$ _____

Excluding All Taxes

I/We have received and allowed for addenda numbered _____ to _____ in preparing this Quotation.

Name of Proponent

Signature of Company Officials

Apply Corporate Seal

Signature of Company Officials

Date



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F. FORM OF PROPOSAL

By my/our signature hereunder, I/we hereby certify this as the Proposal for the construction and renovations in accordance with Parts "A", "B", "C" and "D" of subject Proposal, executed by me/us and bearing date this

_____ day of _____ 2026.

Witness
(If Corporate seal not available)

Signed
(Must be signing Officer of the Firm)

Print Name of Above Signing Officer

Position

Please Affix Corporate or Legal Seal

Name of Firm



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G. DOMESTIC SUPPLY CHAIN

This Domestic Supply Chain Plan (“DSCP”) must be completed in accordance with the Municipal Buy Ontario Procurement Directive. Failure to submit a compliant DSCP may result in rejection of the bid.

When completing the DSCP, the bidder shall include values for Ontario-Made Goods, Ontario Services, Canadian-Made Goods, and Canadian Services that are reflected in the Bid Price. The DSCP Total Value shall not exceed the Bid Price, failure to provide may result in the disqualification of the bid submission.

By submitting a bid, the bidder represents and warrants that all information provided in the DSCP is true and accurate.

If any total value amount entered by the bidder does not accurately reflect the sum of the applicable individual item values, the County may correct the total value amount(s) and the DSCP Total Value.

Note: The value of Ontario-Made Goods and Ontario Services shall not also be included in the value of Canadian-Made Goods and Canadian Services.

Bidder’s Full Legal Name: _____

Description of major goods and services required to complete the Work, including goods/services supplied by subcontractors	Ontario-Made Goods or Ontario Services (\$)	(Non-Ontario) Canadian-Made Goods or Canadian Services (\$)
List of Major Goods		
Structural Material		
Concrete Material		
Masonry Material		
Metal Material		
Wood and Plastic Material		
Site Work Material (granular A, engineering and imported fill, topsoil, seed, sod)		
Building Components		
Door and Window Materials		
Finishing Materials (gypsum board, ceramic tile, paint, sealants)		
Specialty Material (signage, vents, accessories)		
Mechanical Materials		
Electrical Materials		
List of Major Services		



**TOWNSHIP OF OTONABEE-SOUTH MONAGHAN
PROPOSAL FOR CONSTRUCTION and EXPANSION OF FIRE STATION #3**

Total Value of Ontario-Made Goods and Ontario Services	\$	
Total Value of Canadian-Made Goods and Canadian Services		\$
DSCP Total Value		\$



**TOWNSHIP OF OTONABEE-SOUTH MONAGHAN
PROPOSAL FOR CONSTRUCTION and EXPANSION OF FIRE STATION #3**

H. ATTESTATION

Mandatory Eligibility Requirements Form

**Bidder Attestation as a Ontario Business, Canadian
Business**

(“Attestation”)

I attest and confirm that is an Ontario Business or Canadian Business according to the definitions below:

"Ontario Business" means a business entity that is incorporated, registered or carrying on business in the Province of Ontario under applicable Ontario or Canadian law.

"Canadian Business" means a commercial enterprise that is incorporated pursuant to the laws of Canada, and which has ongoing business activities in Canada.

I understand that any failure to provide the correct and sufficient information required by this Attestation will result in the disqualification of the Bidder's Bid.

Name: _____

Title: _____

Date: _____

I have authority to bind the Bidder

GENERAL SPECIFICATIONS:

ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH AN ALLOWABLE BEARING CAPACITY OF 75 kpa OR GREATER.

ALL EXTERIOR FOOTINGS SHALL BE TAKEN DOWN TO A MINIMUM DEPTH OF 4'-0" BELOW FINISHED GRADE.

REMOVE ALL TOPSOIL BENEATH ALL CONCRETE SLABS.

ALL FOUNDATION WALL FOOTINGS SHALL BE A MINIMUM 6" THICK. FOOTING PROJECTION SHALL BE MINIMUM 4" WIDE.

CONCRETE FOR UNREINFORCED FOOTINGS, FOUNDATION WALLS AND BASEMENT FLOOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 mpa.

CONCRETE FOR GARAGE FLOOR SLABS, EXTERIOR PLATFORMS AND STEPS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 32 mpa AND AIR ENTRAINMENT OF 5 TO 8%.

CONCRETE FLOOR SLABS SHALL HAVE A MAXIMUM SLUMP OF 4".

ALL CONCRETE (BASEMENT AND GARAGE) SLABS SHALL BE REINFORCED WITH 6"x6"#6 WELDED WIRE MESH.

SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2" DIAMETER ANCHOR BOLTS AT 6'-8" o.c. MAXIMUM WITH SILL GASKET UNDER. BOLTS SHALL BE EMBEDDED MINIMUM 4" DEEP INTO THE FOUNDATION WALL. TOP COURSE OF CONCRETE BLOCK TO BE FILLED SOLID.

ALL STRUCTURAL FRAMING LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 OR NO. 2 GRADE LUMBER UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LENGTH OF BEARING END OF BEAMS SHALL BE NOT LESS THAN 3 3/8".

PROVIDE MINIMUM 8" DEEP SOLID MASONRY BENEATH BEAMS SUPPORTED ON MASONRY.

PROVIDE DOUBLE FLOOR JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS OVER 6'-0" IN LENGTH RUNNING PARALLEL TO THE FLOOR JOISTS. DOUBLE FLOOR JOISTS MAY BE SEPARATED A MAXIMUM 8" BY 2"x4" BLOCKING @ 4'-0" o.c. TO ALLOW FOR THE PASSAGE OF HEATING DUCTS.

PROVIDE DOUBLE HEADERS AND TRIMMERS AROUND ALL MAJOR FLOOR OPENINGS.

PROVIDE SOLID BLOCKING UNDER ALL LOAD BEARING PARTITIONS.

ALL SUB-FLOORING SHALL BE MINIMUM 3/8" TONGUE AND GROOVE EXTERIOR GRADE DOUGLAS FIR PLYWOOD. SELECT SHEATHING.

PLYWOOD SUB-FLOORING SHALL BE SCREWED AND GLUED WITH AN ELASTOMERIC GLUE TO FLOOR JOISTS.

PROVIDE DOUBLE STUDS AROUND ALL OPENINGS.

PROVIDE MID-HEIGHT BLOCKING (GIRTS) IN ALL LOAD BEARING STUD WALLS.

INTERIOR LOAD BEARING STUD PARTITIONS IN BASEMENT SHALL BE 2x6 @ 16" o.c. ON 6 mil POLYETHYLENE ON 6" DEEP BY 18" WIDE CONCRETE FOOTING AND 4" DEEP BY 5 1/2" WIDE CONCRETE PEDESTAL.

ALL EXTERIOR STUD PARTITIONS SHALL BE 2x6 @ 16" o.c., UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL INTERIOR STUD PARTITIONS SHALL BE 2x4 @ 16" o.c., UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PROVIDE DOUBLE 2x10 HEADER OVER ALL WINDOWS TO ACT AS LINTELS UNLESS OTHERWISE NOTED.

APPLY BREATHER TYPE BUILDING PAPER WITH MINIMUM 4" OVERLAP AT JOINTS OVER WALL SHEATHING.

PROVIDE 6 mil POLYETHYLENE VAPOUR BARRIER THROUGHOUT ALL INSULATED WALLS AND CEILINGS ON THE WARM SIDE.

ENSURE TIGHT SEAL AND CONTINUITY OF ALL VAPOUR BARRIER INCLUDING CONTINUOUS APPLICATION AT WALL INTERSECTIONS AND WALL PLATE / CEILING JOIST CONDITIONS.

PROVIDE ONE LAYER OF TAR PAPER BETWEEN CONCRETE FOUNDATION WALLS AND INTERIOR STRAPPING OR STUD WALLS.

LENGTH OF END BEAMS OF FLOOR, ROOF OR CEILING JOISTS SHALL BE NOT LESS THAN 1 1/2".

SEE ENERGY EFFICIENCY DESIGN SUMMARY FOR INSULATION VALUES

WHERE STUDS, JOISTS OR STRAPPING ARE 24" o.c. INSTALL 1/2" GYPSUM DRYWALL

WHERE STUDS, JOISTS OR STRAPPING ARE 16" o.c. INSTALL 1/2" GYPSUM DRYWALL.

FINISH ALL DRYWALL BY TAPING AND MUDDING SCREW LOCATIONS - 3 COATS AND SANDING SMOOTH.

ALL WINDOWS SHALL HAVE SEALED DOUBLE GLAZED UNITS AND BE LOW 'E' COATED AND ARGON FILLED. DIMENSIONS ON DRAWINGS INDICATE ACTUAL WINDOW FRAME SIZES. FRAMER TO ADD 1" TO FRAME SIZE FOR ROUGH STUD OPENING (SEE WINDOW MANUFACTURER FOR R.S.O. DETAILS). CHECK WITH EACH INDIVIDUAL MANUFACTURER FOR ALLOWABLE DIFFERENCE PRIOR TO FRAMING.

ADHERE TO ALL THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION AND TO ALL BY-LAWS OF THE MUNICIPALITY.

CLIMATIC DATA FOR THE PURPOSE OF DESIGN WAS DETERMINED USING A DESIGN SNOW LOAD OF 2.5 kpa (THE MINIMUM ALLOTTED IN THE TABLE 2.5.1.A FROM THE ONTARIO BUILDING CODE, LATEST EDITION)

ALL FINISHED MATERIALS ARE TO BE SPECIFIED BY OWNERS.

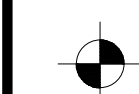
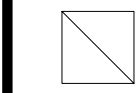
ALL PLUMBING FIXTURES ARE TO BE AS SPECIFIED BY THE OWNERS. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH PART 7 OF THE ONTARIO BUILDING CODE, LATEST EDITION.

ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO HYDRO ELECTRICAL CODE, LATEST EDITION. ALL ITEMS OF ELECTRICAL EQUIPMENT MUST BE C.S.A. APPROVED.

TABLE OF CONTENTS

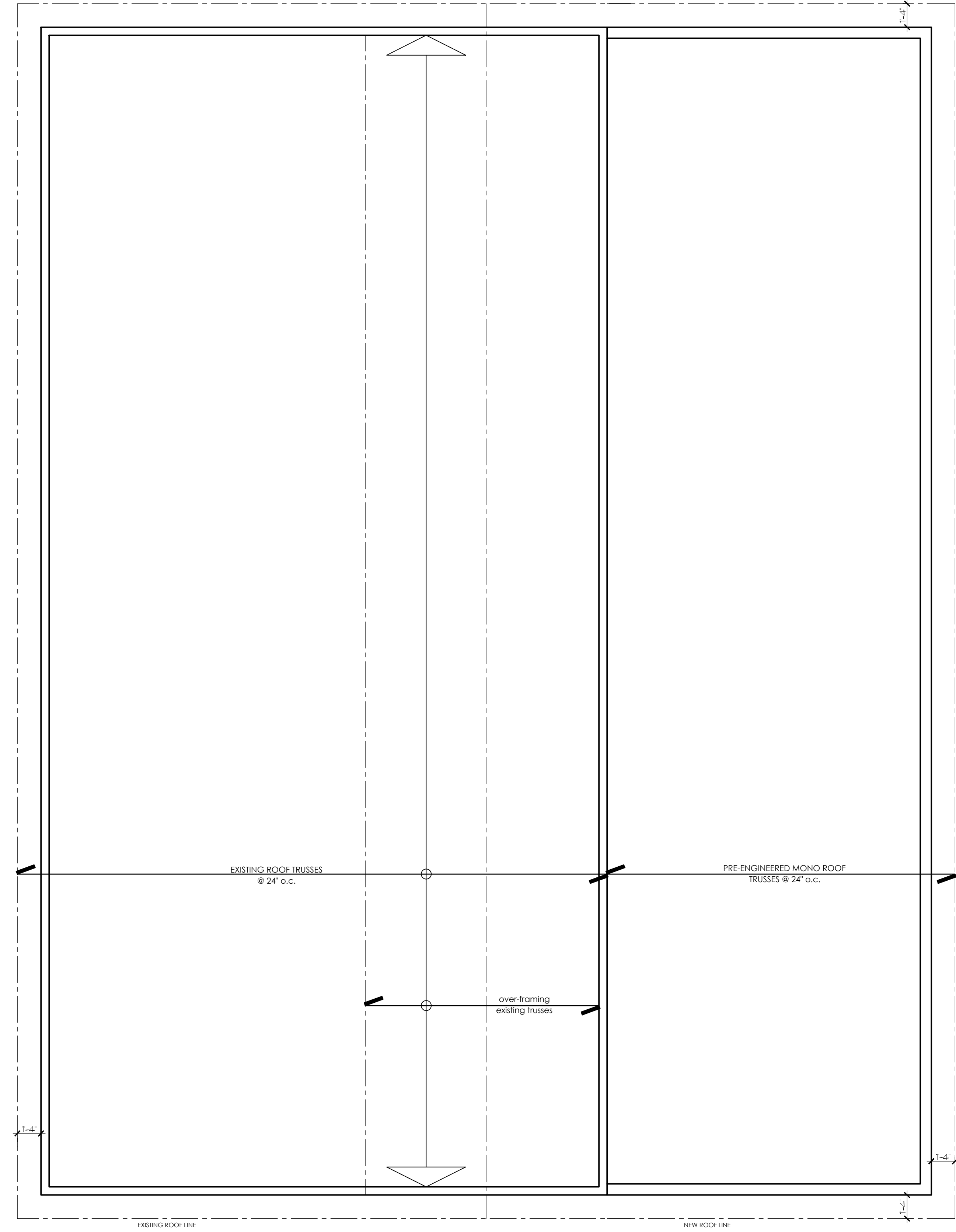
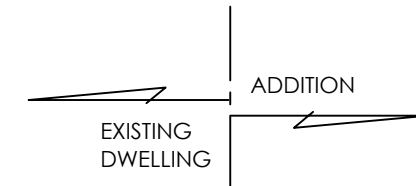
- A1 - TITLE SHEET
- A2 - FOUNDATION PLAN
- A3 - MAIN FLOOR PLAN
- A4 - ROOF PLAN
- A5 - ELEVATIONS
- A6 - ELEVATIONS
- A7 - CROSS SECTIONS
- A8 - LIFE SAFETY PLAN & OBC MATRIX

LEGEND:

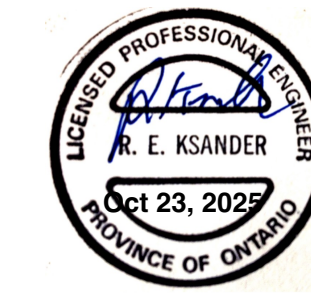
-  INTERCONNECTED SMOKE & C.O. DETECTOR w/ VISUAL SIGNAL
-  MECHANICAL VENT
- SB SOLID BEARING
- P.T. PRESSURE TREATED



osm fire hall
535 third line, otonabee south monaghan, ON



roof plan



ALL CONSTRUCTION METHODS AS PER PART 9 OF THE O.B.C.

ALL TRADES TO HAVE MIN. FIVE YEARS EXPERIENCE IN THEIR RESPECTIVE DISCIPLINES.

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ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO DESIGNER.

DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF MOLLY CONLIN DESIGN & DRAFTING.

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J. Laurie Young
 Architectural Design - Space Planning
 BCIN: 30329

750 Fife Bay Road Selwyn, Ontario
 K9J 6X4 • 705 743 4913
 laurie@jyoungdesign.com

Drawings For:
 OSM FIRE DEPARTMENT #3
 535 THIRD LINE
 OTONABEE SOUTH MONAGHAN, ON

Notes / Revisions:

Project:
 ADDITION - POST DISASTER BUILDING

Title:
 ROOF PLAN



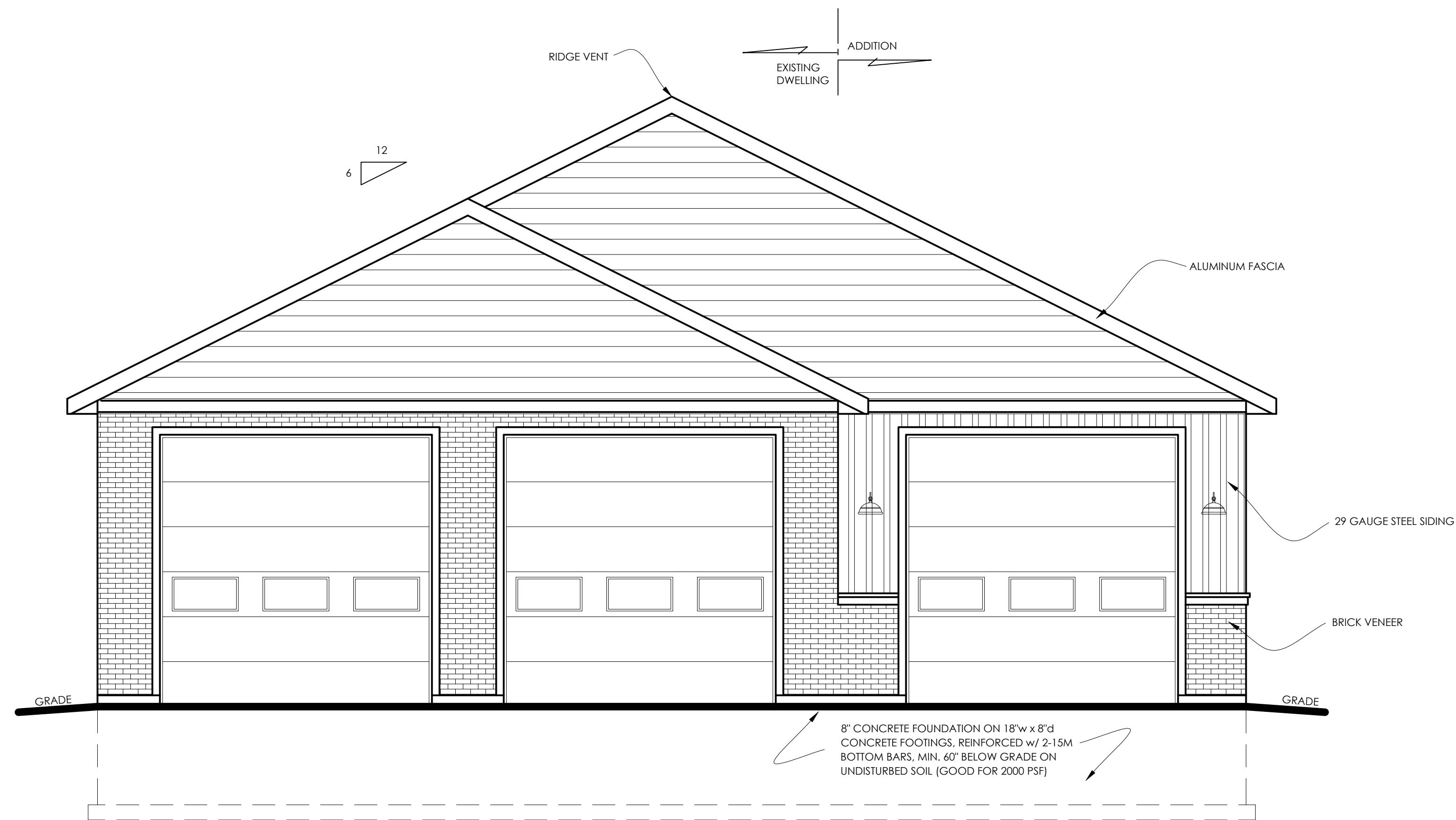
FIRM BCIN#: 109402
 319 County Rd. 8
 Douro, ON K0L 2H0
 705-313-5510

SIGNATURE:

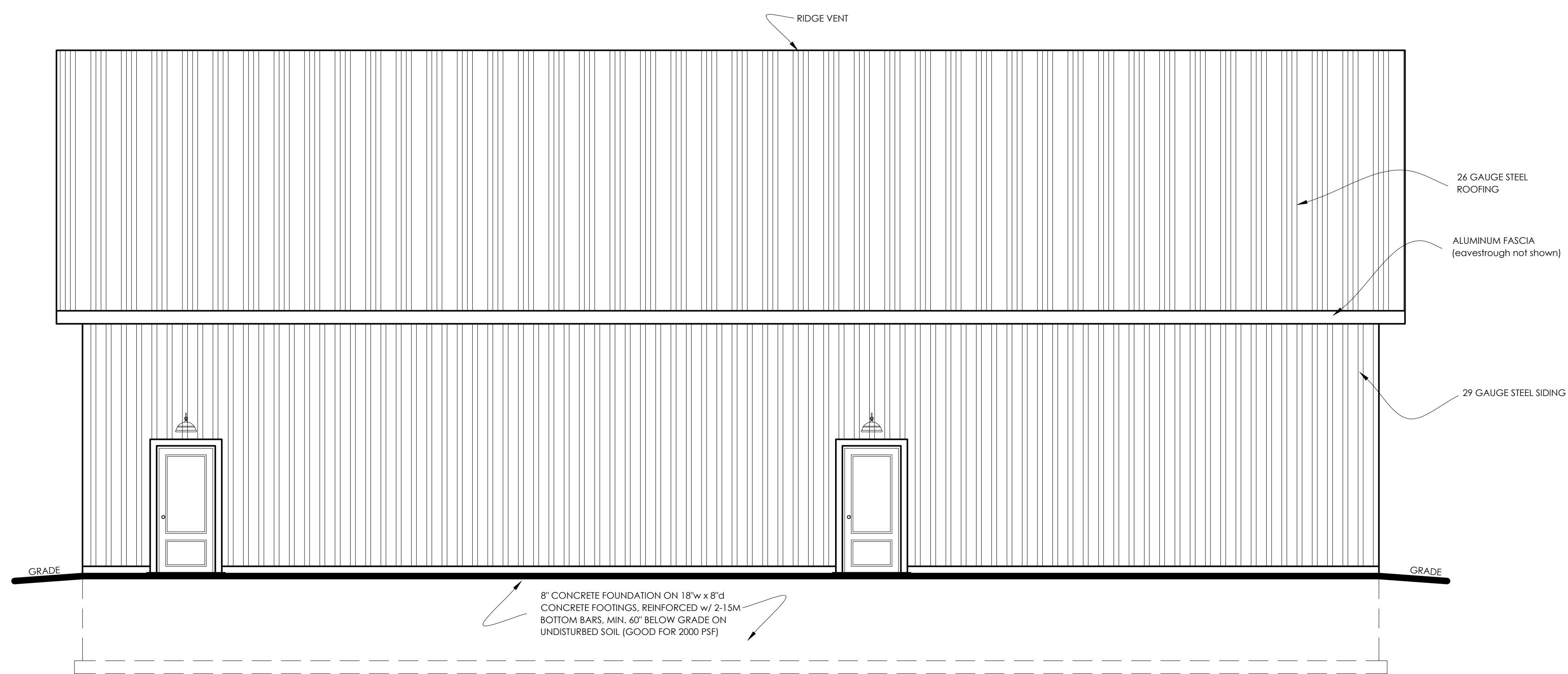
Designed By: M. CONLIN	Checked By: M. CONLIN
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Date: SEPTEMBER, 2025	Page: A4
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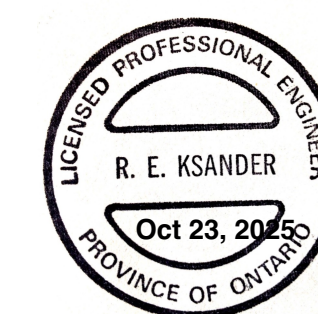
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front elevation



west elevation



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K9J 6X4 • 705 743 4913
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Drawings For:

OSM FIRE DEPARTMENT #3
535 THIRD LINE
OTONABEE SOUTH MONAGHAN, ON

Notes / Revisions:

Project:

ADDITION - POST DISASTER BUILDING

Title:

ELEVATIONS



FIRM BCIN#: 109402
319 County Rd. 8
Douro, ON K0L 2H0
705-313-5510

SIGNATURE:

Designed By:

M. CONLIN

Checked By:

M. CONLIN

Date:

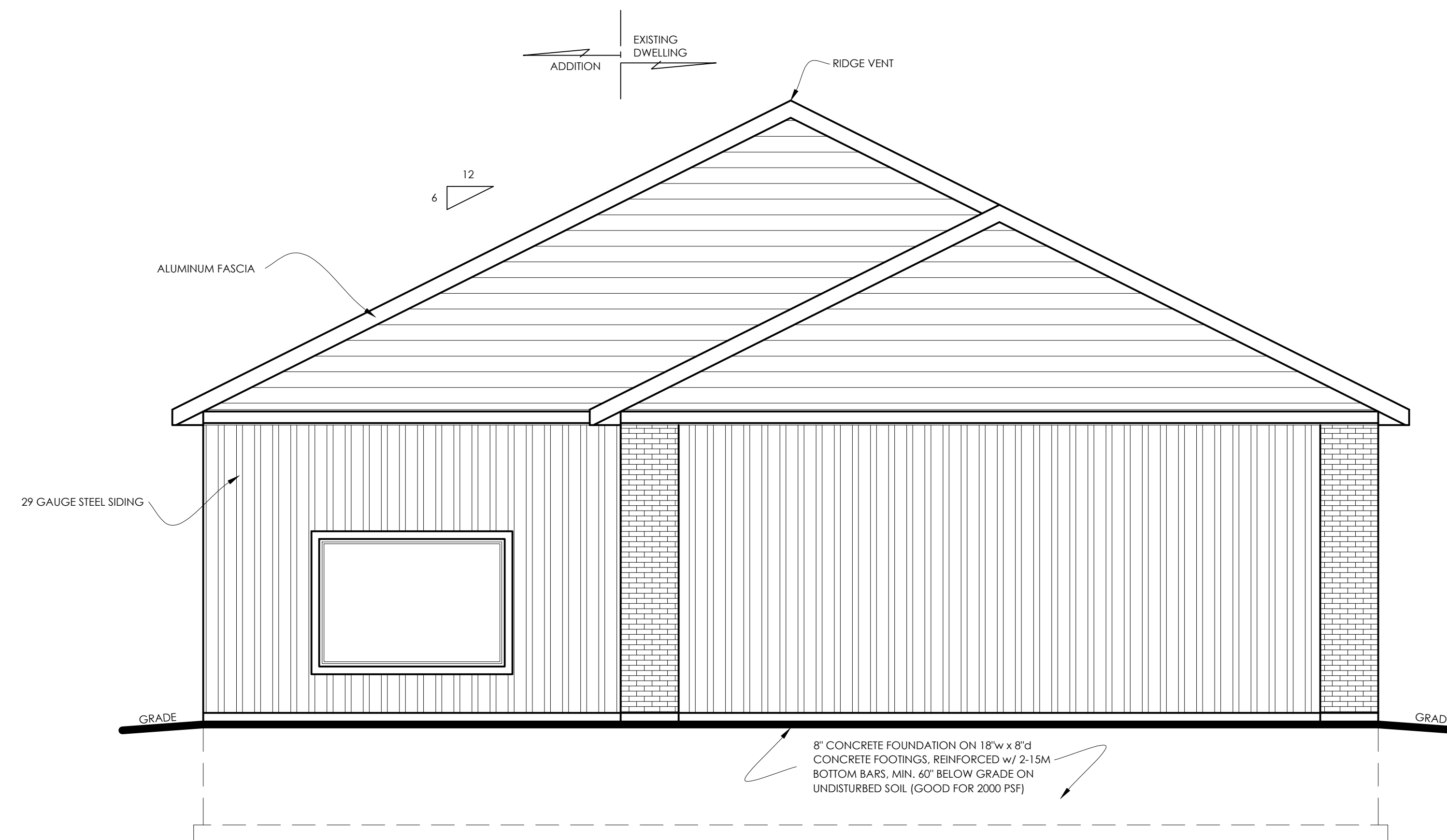
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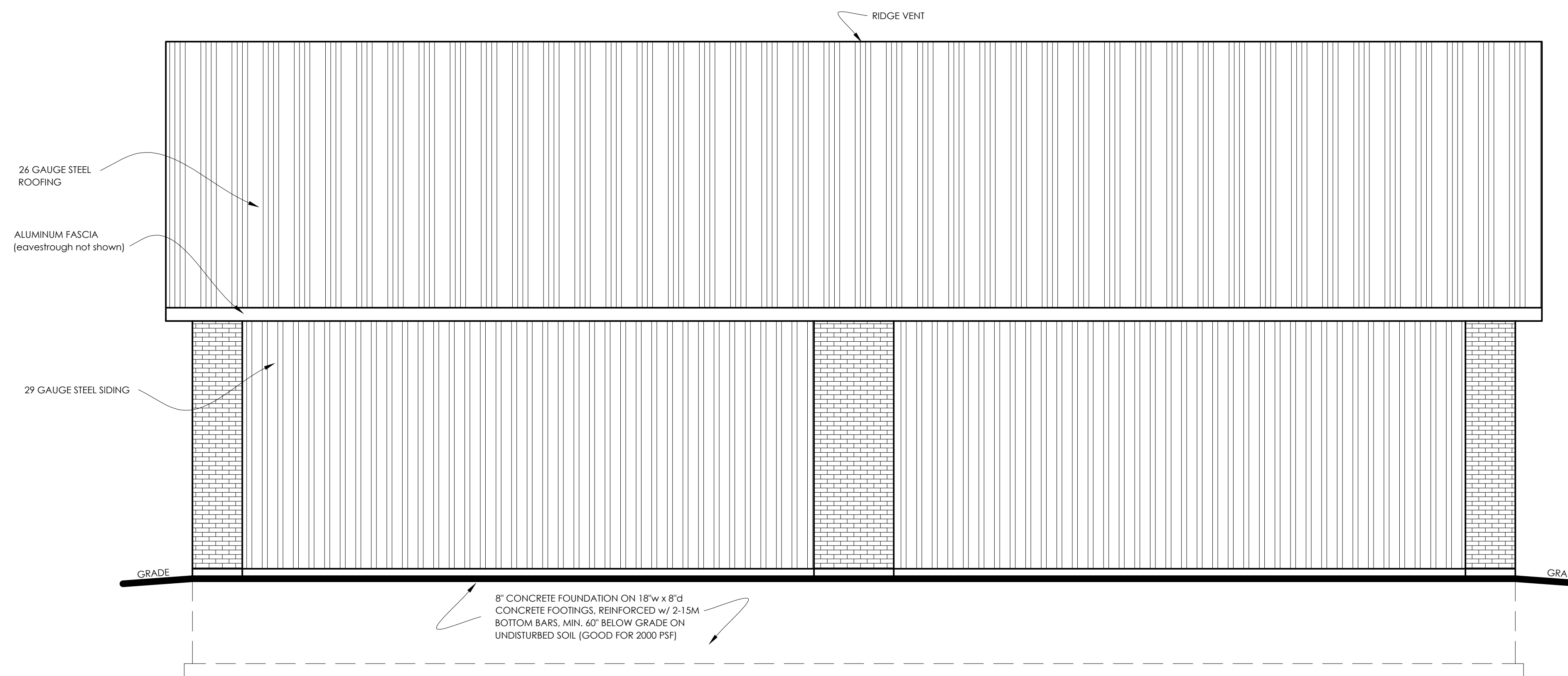
A5

Scale:

1/4" = 1'-0"



rear elevation



east elevation

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laurie@jyoungdesign.com

Drawings For:

OSM FIRE DEPARTMENT #3
535 THIRD LINE
OTONABEE SOUTH MONAGHAN, ON

Notes / Revisions:

Project:

ADDITION - POST DISASTER BUILDING

Title:

ELEVATIONS



FIRM BCIN#: 109402
319 County Rd. 8
Douro, ON K0L 2H0
705-313-5510

SIGNATURE:

Designed By:

M. CONLIN

Checked By:

M. CONLIN

Date:

SEPTEMBER, 2025

Page:

A6

Scale:

1/4" = 1'-0"

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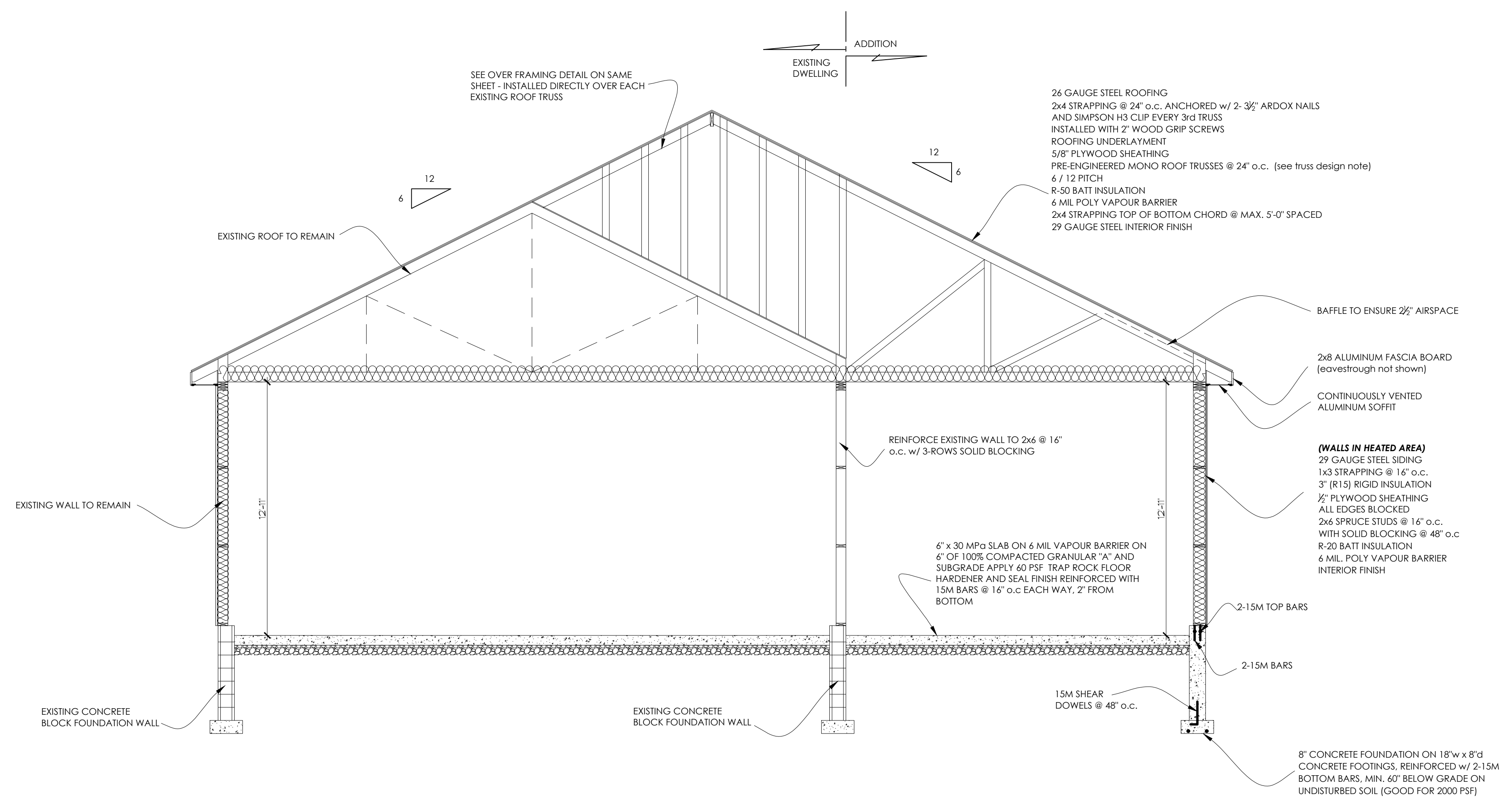
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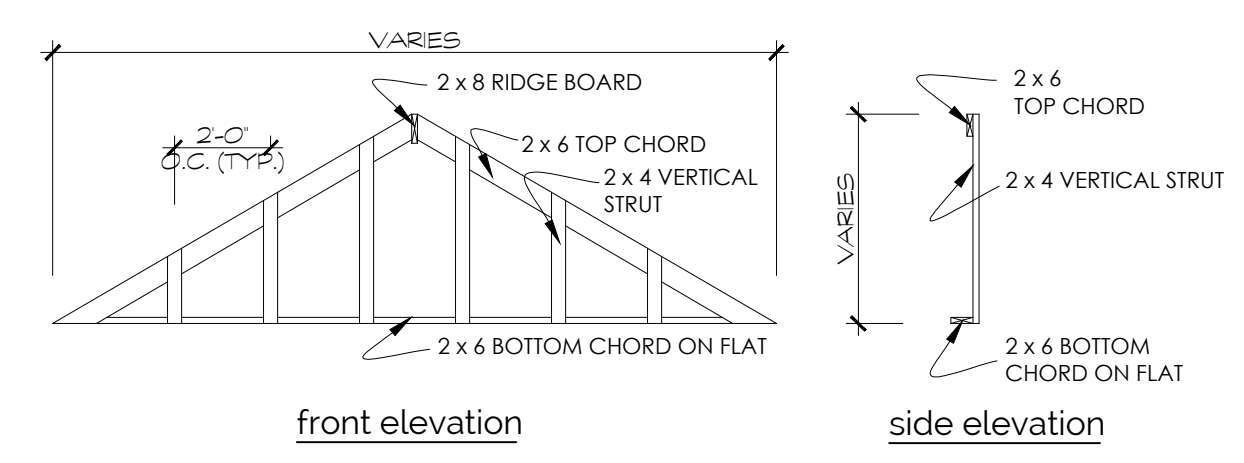
J. Laurie Young
 Architectural Design - Space Planning
 BCIN: 30329



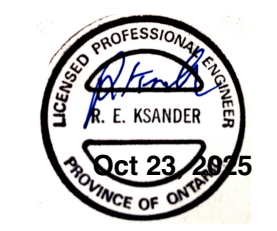
750 Fines Bay Road Selwyn, Ontario
 K9J 6X4 • 705 743 4913
 laurie@jyoungdesign.com



cross section 'a'



overframing detail



Drawings For:
 OSM FIRE DEPARTMENT #3
 535 THIRD LINE
 OTONABEE SOUTH MONAGHAN, ON

Notes / Revisions:

Project:
 ADDITION - POST DISASTER BUILDING

Title:
 CROSS SECTION



FIRM BCIN#: 109402
 319 County Rd. 8
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 705-313-5510

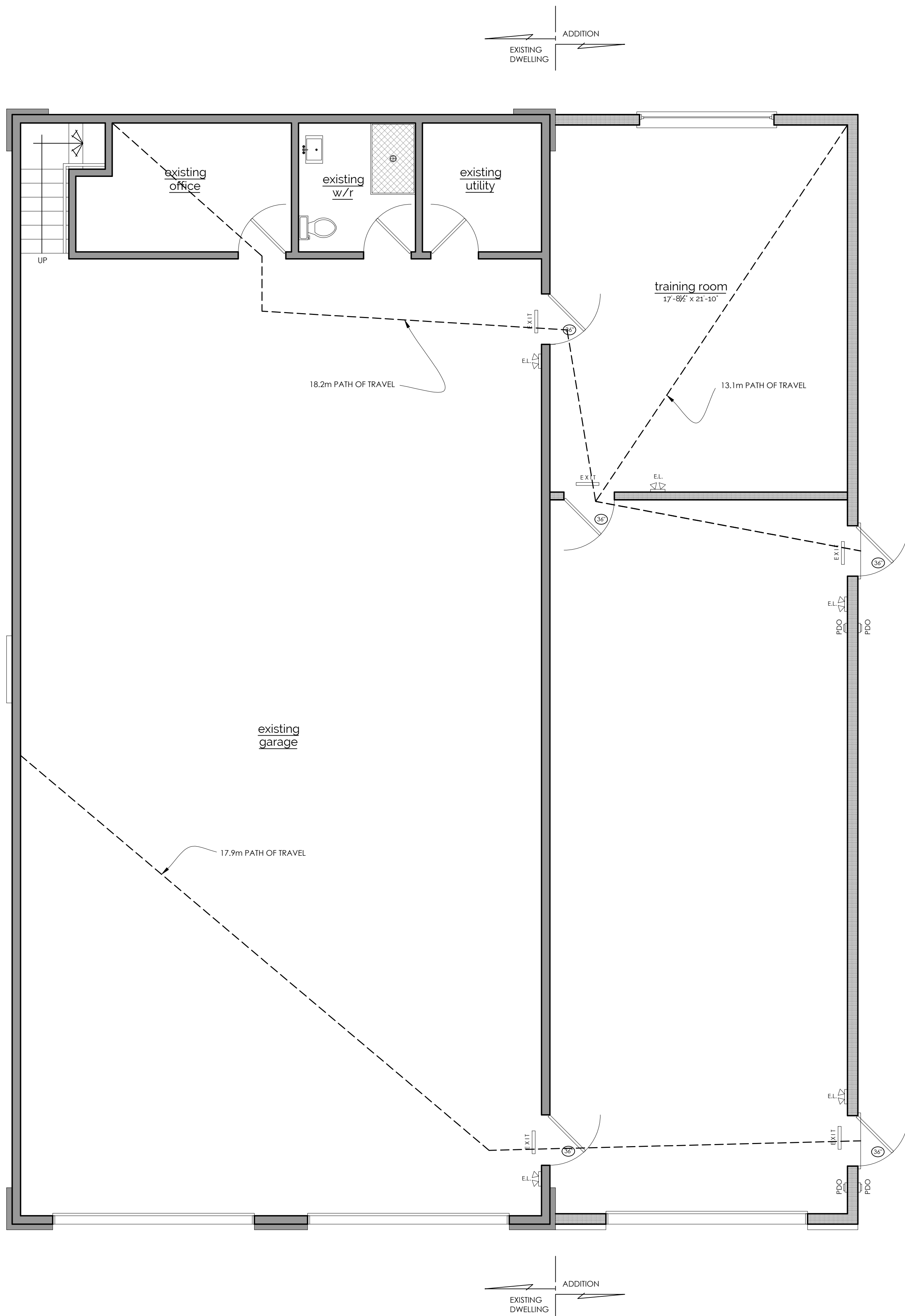
SIGNATURE:

Designed By: M. CONLIN
Checked By: M. CONLIN

Date: SEPTEMBER, 2025

Scale: 1/4" = 1'-0"

Page: A7



life safety plan

Name of Practice:
J.L. Young Design
750 Fife's Bay Rd.
Selwyn, ON

Name of Project:
OSM Fire Hall

Location:
535 Third Line
Otonabee South Monaghan, ON

Date:
September 16, 2025

Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building				Building Code Reference ¹
11.00	Building Code Version:	O. Reg. 332/12	Last Amendment: O. Reg. 451/22	
11.01	Project Type:	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: _____		[A] 1.1.2.
11.02	Major Occupancy Classification:	Occupancy: F2 Use: Medium Hazard Industrial Occupancy		3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____		3.2.2.7.
11.04	Building Area (m ²):	Description: _____ Existing: 196.2 m ² New: 112.4 m ² Total: 308.6 m ²		[A] 1.4.1.2.
11.05	Building Height:	_____ Storeys above grade 8.2 (m) Above grade _____ Storeys below grade		[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/Firefighter access:	_____ Street(s)		3.2.2.10. & 3.2.5.
11.07	Building Size:	<input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large		T.11.2.1.1, 8-N
11.08	Existing Building Classification	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable <small>(no change of major occupancy)</small> Construction Index: 3 Proposed Construction Index: 3 Hazard Index: 3 Proposed Hazard Index: 3 Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input checked="" type="checkbox"/> Post-Disaster		11.2.1.1. 1.11.2.1.1.A 1.11.2.1.1.8-N 4.2.1.(3), 5.2.2.1.(2)
11.09	Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation		11.3.3.1, 11.3.3.2.
11.10	Occupant Load	Floor Level/Area Occupancy Type Based On Occupant Load (Person) Suite _____ F2 Design 18		3.1.17.
11.11	Plumbing Fixture Requirements	Ratio: M/F = 1:1 Except as otherwise noted Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided Suite _____ 18 3.7.4.9. 1 1		3.7.4.
11.12	Barrier-free Design:	<input type="checkbox"/> Yes _____ <input checked="" type="checkbox"/> No		11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change in major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14	Compensating Construction	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change in major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.5.1.
11.16	Notes:			

ALL CONSTRUCTION METHODS AS PER PART 9 OF THE O.B.C.

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J. Laurie Young
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750 Fife's Bay Road Selwyn, Ontario
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laurie@jyoungdesign.com

Drawings For:
OSM FIRE DEPARTMENT #3
535 THIRD LINE
OTONABEE SOUTH MONAGHAN, ON

Notes / Revisions:

Project:
ADDITION - POST DISASTER BUILDING

Title:
ELEVATIONS



FIRM BCIN#: 109402
319 County Rd. 8
Douro, ON K0L 2H0
705-313-5510

SIGNATURE:

Designed By: M. CONLIN **Checked By:** M. CONLIN

Date: AUGUST, 2025

Scale: 1/4" = 1'-0"

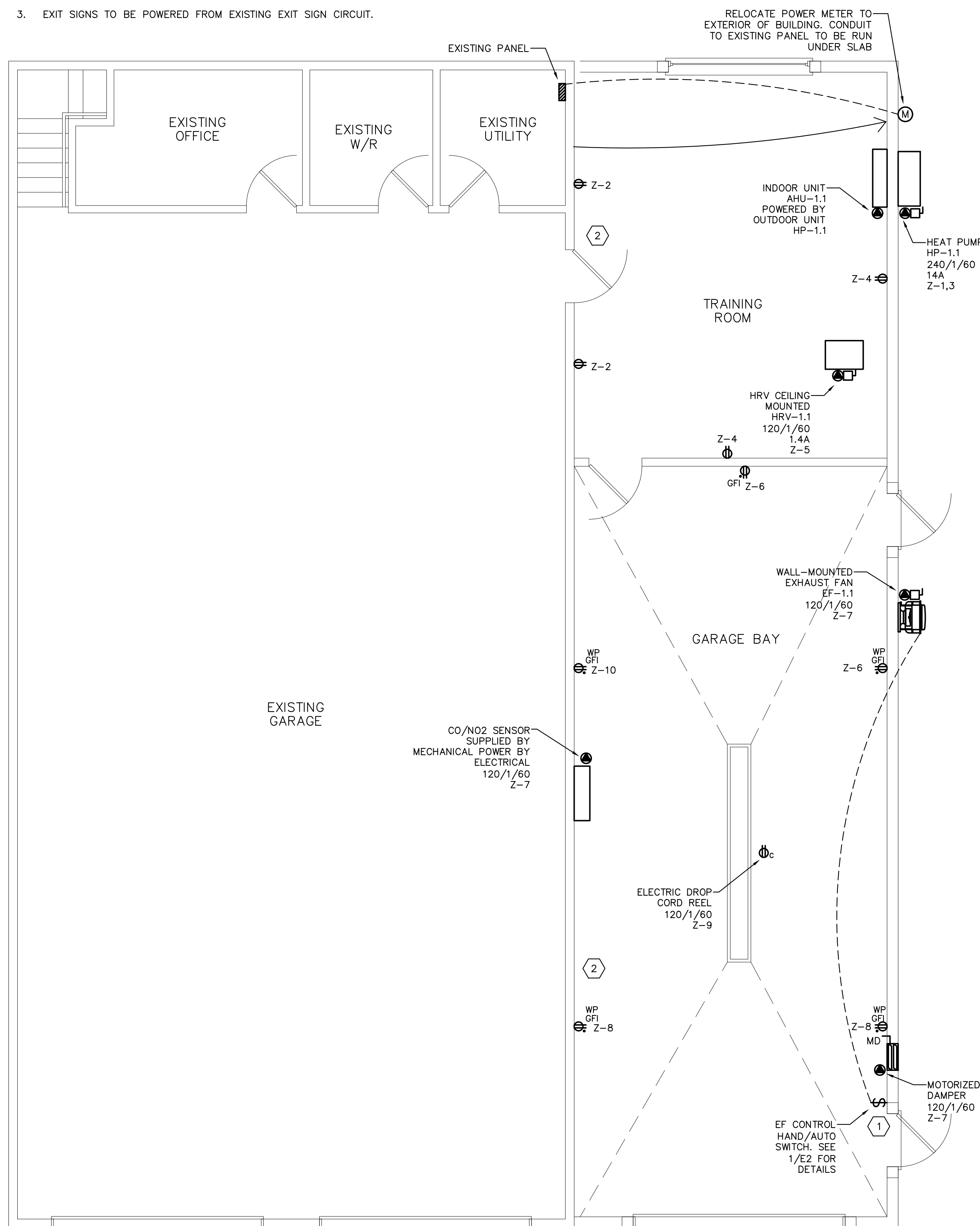
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GENERAL NOTES

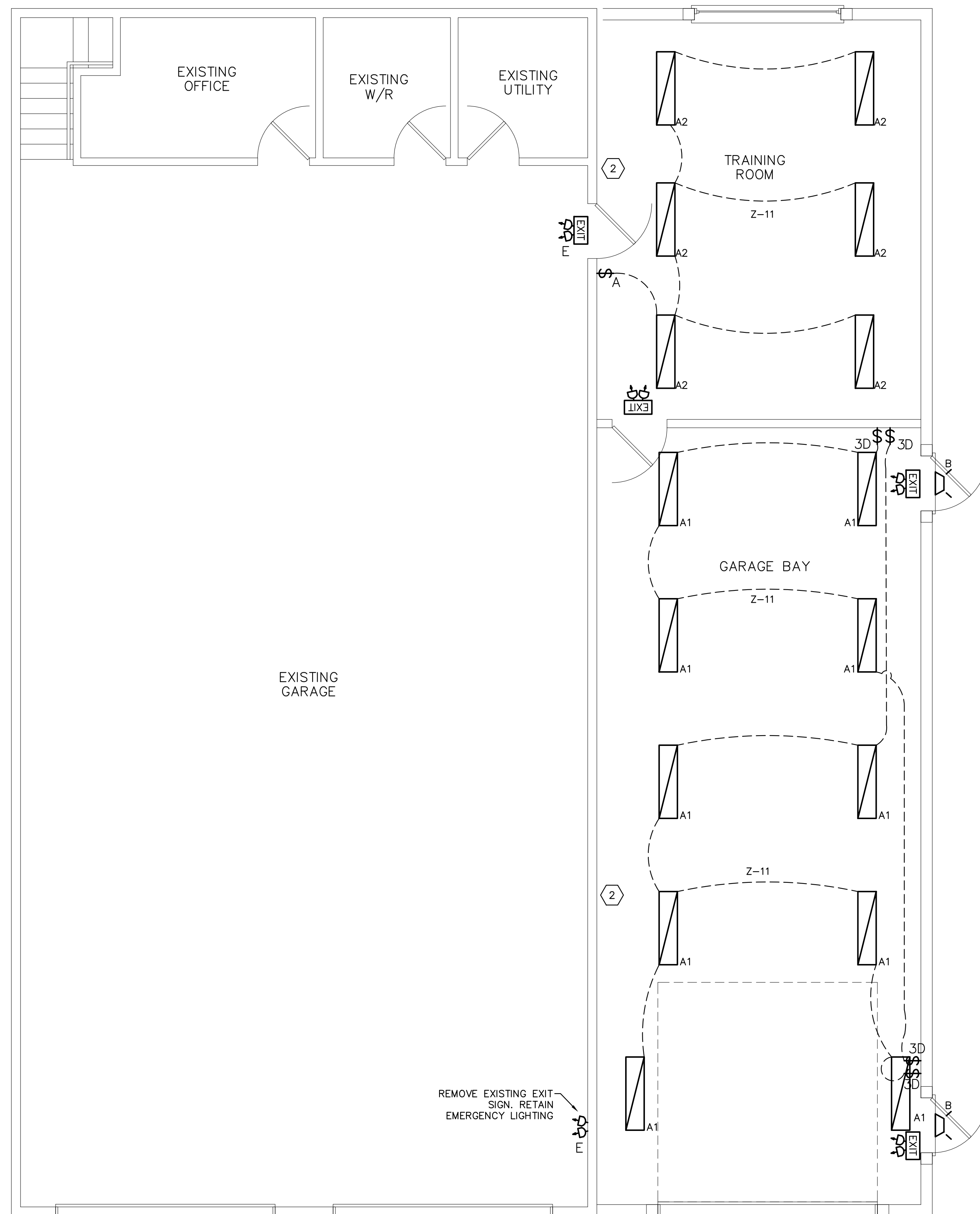
- CIRCUITING SHOWN FOR GROUPING ONLY. NEW ELECTRICAL TO COME FROM UNUSED SPACE ON THE EXISTING ELECTRICAL PANEL. PROVIDE NEW BREAKERS AS NEEDED. NEW CIRCUITS Z-1,3 FOR NEW HEAT PUMP TO BE A 20A, 240V BREAKER, ALL OTHER NEW BREAKERS TO BE 15A, 120V.
- EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- EXIT SIGNS TO BE POWERED FROM EXISTING EXIT SIGN CIRCUIT.

DRAWING NOTES

- EF-1.1 CONTROLLED BY SWITCH ON WALL. SWITCH SUPPLIED AND INSTALLED BY ELECTRICAL, COORDINATE WITH MECHANICAL.
- UNLESS NOTED OTHERWISE, ALL ELECTRICAL EQUIPMENT INCLUDING RECEPTACLES AND LIGHT FIXTURES ON EXISTING EXTERIOR WALL ON THE SIDE OF THE ADDITION IS TO BE REMOVED AND MADE SAFE.



1 POWER MAIN FLOOR PLAN
E1 SCALE: 1/4" = 1'-0"



2 LIGHTING MAIN FLOOR PLAN
E1 SCALE: 1/4" = 1'-0"

LEGEND

- A1 4' VAPOUR TIGHT LED FIXTURE 4000 LUMENS SURFACE MOUNTED
- A2 4' LED FIXTURE 3000 LUMENS SURFACE MOUNTED
- B LED WALL PACK 850 LUMEN 3000K C/W PHOTOCELL
- \$A 0-10V DIMMING SWITCH AUTO ON/AUTO OFF OCCUPANCY SENSOR
- \$3 3-WAY SWITCH
- \$D 0-10V DIMMING SWITCH
- EXIT RUNNING MAN EXIT SIGN/ EMERGENCY LIGHT UNIT COMBO PAC, SINGLE FACE, MOUNTING AS NEEDED
- E EXISTING TO REMAIN
- ⊕ RECEPTACLE
- DIRECT CONNECTION
- ⊕ GROUND FAULT INTERRUPTER RECEPTACLE
- ⊕ ABOVE COUNTER RECEPTACLE
- DISCONNECT
- WP WEATHER PROOF

NO.	DESCRIPTION	DATE	BY
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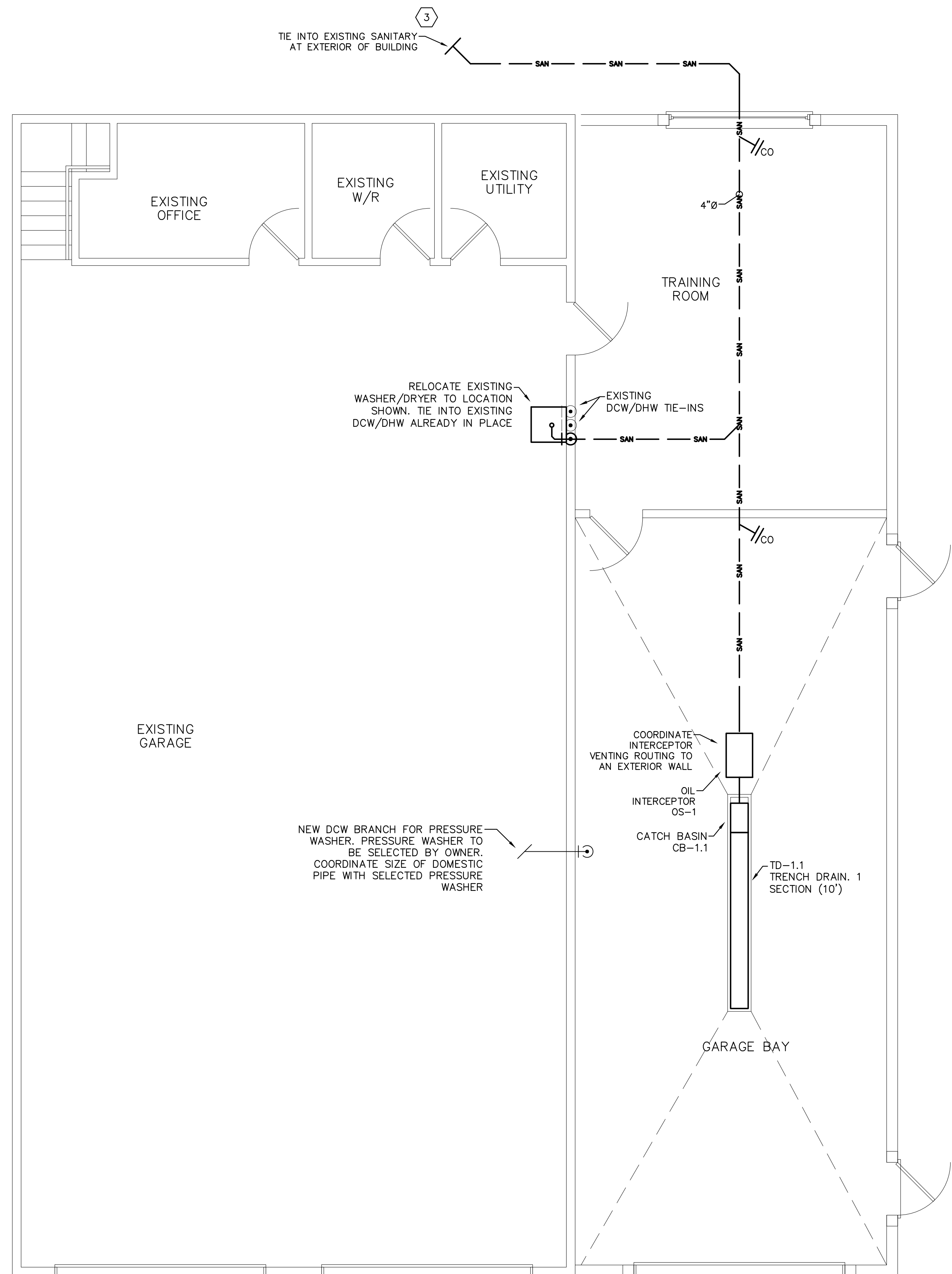
KE
KIRKLAND ENGINEERING LTD.

570 Water Street
Peterborough, Ontario
K9H 3M8
p. (705) 745-2831
f. (705) 741-1526
www.kirklandeng.com

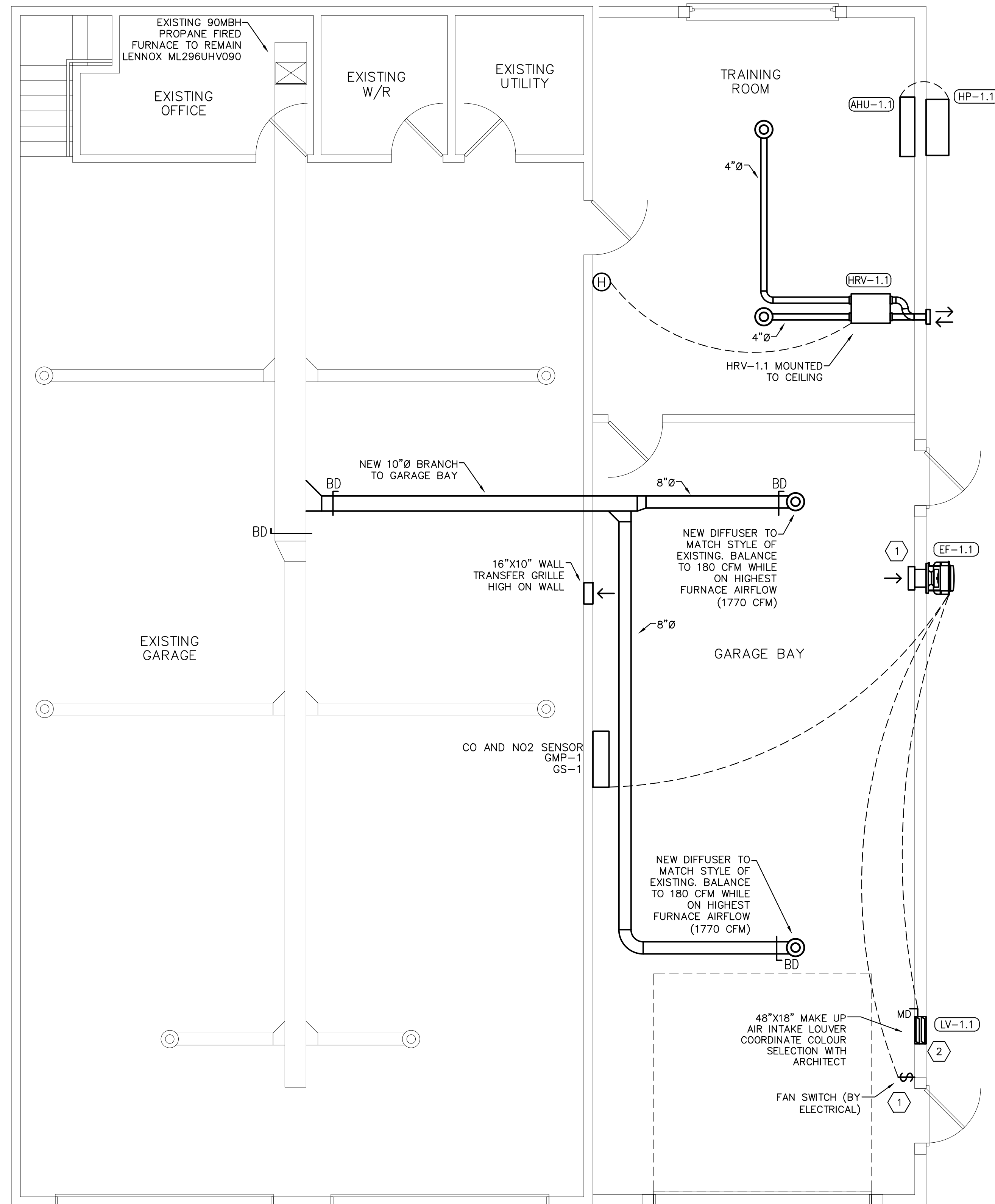
PROJECT
**OSM FIRE HALL
ADDITION - POST
DISASTER BUILDING**
535 Third Line
Otonabee South Monaghan, ON

TITLE
**ELECTRICAL MAIN FLOOR
PLAN**

DESIGN	DRM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	DRM	E1
APPROVED	DRM	
PROJECT	7667	



1 PLUMBING MAIN FLOOR PLAN
 M1 SCALE: 1/4" = 1'-0"



2 HVAC MAIN FLOOR PLAN
 M1 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. EXHAUST FAN EF-1 CONTROLS THE GENERAL EXHAUST FOR THE GARAGE BAY. INLET LOUVER TO HAVE MOTORIZED DAMPER INTERCONNECTED WITH THE EXHAUST FAN CONTROLS SUCH THAT THE DAMPER OPENS WHEN EF-1.1 IS ON.

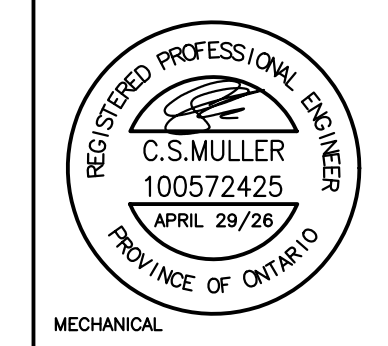
DRAWING NOTES

1. EF-1.1 CONTROLLED BY SWITCH ON WALL. FAN TO RUN WHILE SWITCH IS ON. WHEN THE SWITCH IS OFF THE FANS WILL NORMALLY BE TURNED OFF AND WILL AUTOMATICALLY TURN ON UPON ALARM SIGNAL FROM CO AND NO2 SENSOR. SWITCH SUPPLIED AND INSTALLED BY ELECTRICAL. COORDINATE WITH ELECTRICAL.
2. MOTORIZED DAMPER TO RECEIVE SIGNAL TO OPEN FROM EXHAUST FAN SUCH THAT DAMPERS OPEN WHEN EXHAUST FAN IS TURNED ON AND DAMPER CLOSES WHEN EXHAUST FAN IS OFF.
3. EXPECTED LOCATION OF EXISTING SANITARY LEADING TO SEPTIC BED. CONFIRM LOCATION AND INVERT PRIOR TO INSTALLING SANITARY.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT AND TENDER	2026.04.29	CSM

REVISIONS

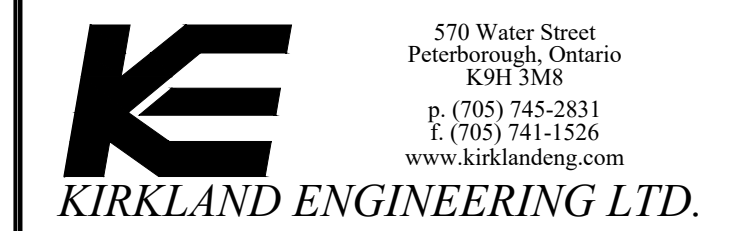
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PROJECT
**OSM FIRE HALL
 ADDITION - POST
 DISASTER BUILDING**
 535 Third Line
 Otonabee South Monaghan, ON

TITLE
MECHANICAL MAIN FLOOR PLAN

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M1
APPROVED	CSM	
PROJECT	7667	

Minimum Fresh Air Requirements						
Room Name	Occupant Load	Square Footage	Occupancy Category (Ashrae 62.1 Table 6.2.1)	People Outdoor Air Rate (cfm/person)	Area Outdoor Air Rate (cfm/ft ²)	Fresh air Required (CFM)
Training Room	2	385.00	Sports and Entertainment - gym, sports arena	20	0.18	109.30
New HRV supplies 129 CFM of fresh air, satisfying the total required ventilation rate.				Total Fresh Air Required		109.30

Minimum Required Exhaust Rate						
Room Name	# of WC or urinals (if applicable)	Square Footage	Occupancy Category (Ashrae 62.1 Table 6.4)	Exhaust rate per WC/U (cfm/unit)	Exhaust rate by area (cfm/ft ²)	Minimum Exhaust Rate (CFM)
Garage Bay	0	750	Parking Garages	0	0.75	563
				Total		563

EXHAUST FAN SCHEDULE							
IDENT.	MANUFACTURER	TYPE	POWER	MODEL	CFM/STATIC PRESSURE	CONTROL	REMARKS
EF-1.1	GREENHECK	SIDEWALL EXHAUST	120V/1/60 C-1/30 MOTOR HP DIRECT DRIVE	CUE SIZE-090	584 CFM @ 0.15"WC	SWITCH AND GAS SENSOR	EXHAUST FAN, COMPLETE WITH SIDEWALL MOUNT BY MANUFACTURER. TO BE CONTROLLED BY SWITCH AND GAS SENSOR

LOUVER SCHEDULE					
IDENT.	DESCRIPTION	SIZE	MANUFACTURER	MODEL	NOTES
LV-1.1	MAKE UP AIR INTAKE LOUVER	18"Hx18"W	NAILOR	1606AD	COMPLETE WITH BIRDSCREEN AND MOTORIZED DAMPER

OUTDOOR HEAT PUMP SCHEDULE						
IDENT.	MANUFACTURER	TYPE	POWER	MODEL	CAPACITY (MBH)	REMARKS
HP-1.1	MITSUBISHI	OUTDOOR HEAT PUMP UNIT	208/230-1-60 MCA: 14A MOP: 15A	MUZ-FX12NLHZ HYPER HEAT	HEATING: 16,000 BTU/H COOLING 12,000 BTU/H	OUTDOOR HEAT PUMP HP-1.1 TO BE ORDERED COMPLETE WITH INDOOR AIR HANDLING UNIT AHU-1.1. INDOOR UNIT RECEIVES POWER FROM OUTDOOR UNIT THROUGH FIELD-SUPPLIED INTERCONNECTED WIRING. UNIT HEATING OPERATIONAL RANGE FROM -30°C TO 21°C

AIR HANDLER UNIT SCHEDULE							
IDENT.	MANUFACTURER	TYPE	POWER	MODEL	CAPACITY (MBH)	CONTROL	REMARKS
AHU-1.1	MITSUBISHI	INDOOR HEAD	208/230-1-60 MCA: 1.0A POWERED BY OUTDOOR UNIT	MSZ-FX12NL	HEATING: 16,000 BTU/H COOLING 12,000 BTU/H	PROGRAMMABLE THERMOSTAT: HONEYWELL RTH2300 OR EQUIVALENT	ROUTE CONDENSATE TO NEAREST DRAIN AND CONNECT INDIRECTLY. CONNECT TO OUTDOOR UNIT HP-1.1

HRV SCHEDULE							
IDENT.	MANUFACTURER	MODEL	POWER	DUCT SIZE	CFM/STATIC PRESSURE	CONTROL	NOTES
HRV-1.1	LIFEBREATH	METRO 120D	120/1/60 MCA: 1.4A MOP: 15A	5" COLLAR (X4)	129 CFM @0.3 IN.W.G (HIGH)	WALL MOUNT CONTROLLER (H)	c/w 99-DXPL02 DIGITAL CONTROLLER, MOUNTING BRACKETS 19-3/8" H 9-3/4" W 25-3/4" L

GAS DETECTION SCHEDULE					
IDEN.	ITEM	MANUFACTURER	MODEL	VOLTAGE	NOTES
GMP-1	GAS MONITOR PANEL	ARMSTRONG	AMC-1B	120/1/60	SINGLE/DUAL ZONE GAS MONITOR, RED/YELLOW/GREEN LED INDICATORS, 95 dBa AUDIO ALARM, UP TO 8 MODULES PER ZONE, MOUNTING HEIGHT AS PER MANUFACTURER'S SPECIFICATIONS. LOW VOLTAGE OUTPUTS FOR SENSORS.
GS-1	CO/NO2 GAS SENSOR	ARMSTRONG	AMC-1222	12-24VDC	CO & NO2 ELECTROCHEMICAL SENSOR, 0-100ppm CO/0-3ppm NO2, LOW POWER 3 WIRE 18 AWG SHIELDED INSTALLATION WIRING, 50' RADIUS COVERAGE AREA, MAXIMUM 150FT BETWEEN SENSORS AND PANEL. POWERED FROM PANEL.

OIL SEPARATOR SCHEDULE				
IDEN.	MANUFACTURER	MODEL	NOTES	
OS-1	ZURN	PROCEPTOR OMC 150	OIL INTERCEPTOR c/w 4"Ø INLET & OUTLET, CAST IRON COVER, ADJUSTABLE OIL DRAW OFF PIPES FOR EXTERNAL HOLDING TANK. COORDINATE RISER REQUIRED WITH SITE CONDITIONS AND INVERT.	

DRAIN + CATCH BASIN SCHEDULE				
IDEN.	MANUFACTURER	MODEL	NOTES	
CB-1.1	ZURN	Z887-12-Y	ZURN Z887-12-HD 12" WIDE REVEAL x 20" LONG CATCH BASIN WITH HEAVY-DUTY FRAME. COMPLETE WITH SEDIMENT BUCKET, OPTION Y. CLASS "C" GALVANIZED GRATE.	
TD-1.1	ZURN	Z-812	10' LENGTH PRE-SLOPED FIBERGLASS TRENCH DRAIN	

GENERAL MECHANICAL SPECIFICATIONS

- THE MECHANICAL DRAWINGS DO NOT SHOW ALL THE ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DETAILS. INFORMATION INVOLVING ACCURATE DIMENSIONING OF THE SITE CONDITIONS SHALL BE TAKEN FROM SITE BY CONTRACTOR. CONTRACTOR TO MAKE ANY NECESSARY MODIFICATIONS OR ADDITIONS, WITHOUT CHARGE, TO ACCOMMODATE THE SITE CONDITIONS.
- EQUIPMENT TO BE AS SPECIFIED OR APPROVED EQUIVALENT. DESIGN BASED ON EQUIPMENT AS SPECIFIED IN EQUIPMENT SCHEDULE AND IS NOT INTENDED TO SHOW EQUIPMENT IN EXACT LOCATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY EQUIPMENT DIMENSIONS TO ENSURE THAT EQUIPMENT WILL FIT SITE CONDITIONS. ANY COST ASSOCIATED WITH USING EQUIPMENT OTHER THAN WHAT IS SPECIFIED IS THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA WILL BE ALLOWED FOR THESE COSTS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, THE SPECIFICATION, AND ALL OTHER TENDER DOCUMENTS.
- ALL FLOOR MOUNTED EQUIPMENT TO BE PLACED ON HOUSE KEEPING PAD.
- ALL PIPING AND DUCT WORK TO BE LABELED INCLUDING DIRECTION OF FLOW EVERY 8' AND EACH CHANGE IN DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE A COMPLETE CONTROL SYSTEM. DESIGN TO BE APPROVED BY THE ENGINEER, PROVIDE ALL EQUIPMENT SHOP DRAWINGS FOR THE CONTROL SYSTEM TO BE APPROVED. CONTRACTOR IS RESPONSIBLE FOR COMPLETE INSTALLATION OF THE CONTROL SYSTEM AND FINAL TESTING OF ALL MECHANICAL EQUIPMENT FOR FULLY FUNCTIONING SYSTEM IN ALL SEASONS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE ALL EQUIPMENT AND MATERIALS CAN FIT INTO MECHANICAL ROOM OR ITS PLACE, THROUGH FINISHED OPENINGS, OR THAT MATERIAL IS PLACED IN MECHANICAL ROOM AT APPROPRIATE PHASE OF CONSTRUCTION.
- PRIOR TO SUBMITTING TENDERS, THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ALL EXISTING CONDITIONS. ALLOW FOR ALL COSTS ASSOCIATED WITH COMPLETING THE WORK OF MECHANICAL DIVISION IN ACCORDANCE WITH EXISTING SITE AND BUILDING CONDITIONS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITY CONNECTIONS WHERE CONNECTIONS ARE REQUIRED. CONTRACTOR TO VERIFY LOCATION, DEPTH, ELEVATION, AND SIZE OF INVERT. NO ALLOWANCE FOR EXTRA PAYMENTS TO THE CONTRACTOR WILL BE MADE BY THE OWNER FOR FAILING TO VISIT AND EXAMINE SITE CONDITIONS.
- SUB-CONTRACTOR SHALL MAINTAIN SUCH INSURANCE AS WILL FULLY PROTECT BOTH THE OWNER AND THE SUB-CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKMEN'S COMPENSATION ACT, ALSO ALL INSURANCE AS NOTED WITHIN ARCHITECTURAL GENERAL CONDITIONS.
- MAINTAIN A SEPARATE SET OF WHITE PRINTS ON THE SITE AND NOTE ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL DESIGN. TWO SETS OF THESE DRAWINGS SHOWING ALL AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE ARCHITECT AT THE COMPLETION OF THIS CONTRACT AND BEFORE APPLYING FOR FINAL PAYMENT.
- ADDITIONAL MONEY OVER THE CONTRACT PRICE SHALL NOT BE PAID UNLESS AN APPROVED CHANGE ORDER IS ISSUED BY THE ARCHITECT. CLAIMS FOR EXTRAS SHALL BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIAL, LABOUR, HOURLY RATES, ETC.
- BE RESPONSIBLE TO KEEP THE AREA CLEAN AT ALL TIMES AND TO PERIODICALLY REMOVE ALL DEBRIS. CONSTRUCTION AREA TO BE ISOLATED BY MEANS OF TARPS AND/OR TEMPORARY PARTITIONS.
- ALL CUTTING AND PATCHING REQUIRED FOR THE WORK OF THIS DIVISION SHALL BE CARRIED OUT BY THIS DIVISION. CUTTING AND DRILLING SHALL BE PERFORMED IN A MANNER SO AS TO CAUSE LITTLE DAMAGE. BE RESPONSIBLE AND PAY FOR ANY DAMAGE TO THE BUILDING INCURRED BY WORK OF THIS DIVISION.
- BE RESPONSIBLE TO COORDINATE THE INSTALLATION OF EQUIPMENT, DUCTING, PIPING, ETC. WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE PRIOR TO THE ACTUAL INSTALLATION.
- BE RESPONSIBLE FOR MECHANICAL WORK UNTIL THE COMPLETION AND FINAL ACCEPTANCE, FOR REPLACING ANY ITEM THAT MAY BE DEFECTIVE, DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY TO THE COMPLETION OF THE PROJECT.
- SHOP DRAWINGS AND PRODUCT DATA. 'SHOP DRAWINGS' MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE, CHARTS, BROCHURES, AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK. INDICATE MATERIALS METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, NECESSARY FOR COMPLETION OF WORK. ADJUSTMENTS MADE ON SHOP DRAWINGS BY OWNER OR ENGINEER ARE NOT INTENDED TO CHANGE CONTRACT PRICE. MAKE CHANGES IN SHOP DRAWINGS AS OWNER OR ENGINEER MAY REQUIRE. SUBMIT 6 HARD COPIES, OR 1 HIGH QUALITY ELECTRONIC COPY OF PRODUCT DATA SHEETS OR BROCHURES FOR ALL MECHANICAL EQUIPMENT. PROVIDE 2 MAINTENANCE MANUALS COMPLETE WITH WARRANTY, CERTIFICATE OF INSPECTIONS, AND COPY OF ALL PRODUCT LITERATURE AND MAINTENANCE INFORMATION.
- PRIOR TO FINAL INSPECTION DEMONSTRATE OPERATION OF EACH SYSTEM TO OWNER AND ENGINEER. INSTRUCT PERSONNEL IN OPERATION ADJUSTMENT AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS BASIS FOR INSTRUCTION.
- AFTER THE WORK IS COMPLETED, GIVE A WRITTEN GUARANTEE FOR ONE YEAR COVERING WORKMANSHIP AND MATERIALS. REPAIR OR REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY DEFECTS DUE TO WORKMANSHIP OR MATERIALS WHICH IN THE OWNER'S OPINION, ARE NOT DUE TO MISUSE OR NEGLECT.
- WHERE REQUIRED FOR UNDERGROUND SERVICE THE EXCAVATION, BACKFILL AND CONCRETE WORK SHALL BE BY THE GENERAL CONTRACTOR. THE MECHANICAL TRADE SHALL SUPERVISE THE PROCESSING OF CONCRETE TO ENSURE THEY ARE FREE FROM VOIDS AND SHALL ADVISE THE GENERAL CONTRACTOR OF THIS WORK FOR INCLUSION IN THE GENERAL CONTRACTOR'S TENDER PRICE.
- THE MECHANICAL CONTRACTOR SHALL ENSURE THAT EVERY FIXTURE, PLUMBING APPLIANCE, INTERCEPTOR, CLEANOUT, VALVE, DEVICE OR PIECE OF EQUIPMENT SHALL BE LOCATED IN A MANNER THAT IT IS READILY ACCESSIBLE FOR USE, CLEANING, MAINTENANCE OR REPAIR. MECHANICAL CONTRACTOR SHALL PROVIDE ACCESS DOORS LARGE ENOUGH TO PERMIT EASY ACCESS TO CONCEALED FIXTURES, PLUMBING APPLIANCES, FIRE DAMPERS, INTERCEPTORS, CLEANOUTS, VALVES, DEVICES OR PIECES OF EQUIPMENT.
- CONTRACTOR SHALL CARRY THE SERVICES OF AN APPROVED FIRE STOPPING INSTALLER AND SHALL PROVIDE ALL FIRE STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS. PROVIDE SHOP DRAWINGS FOR FIRE STOPPING MATERIALS USED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THEIR PROPERTY. THE OWNER BEARS NO RESPONSIBILITY FOR PROTECTION FROM THEFT, FIRE, OR ENVIRONMENTAL CONDITIONS.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL DETERMINE EXACT INVERT ELEVATION, DEPTH, SIZE, AND LOCATION OF EXISTING UTILITIES WHERE CONNECTIONS ARE TO BE MADE OR INTERSECTIONS OCCUR. NOTIFY ARCHITECT OR ENGINEER OF ANY DISCREPANCY BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS. WORK BACK TOWARDS BUILDING FROM UTILITY CONNECTION FOR ALL PIPING SYSTEM.
- ALL PIPING AND DUCTING SHOWN FOR SCHEMATIC AND SCOPE OF WORK PURPOSES IN GENERAL LOCATION OF USE. COORDINATE EXACT ROUTING ON SITE AND WITH BEST PRACTICES.
- ALL EQUIPMENT (PUMPS, HVAC UNITS, ROOFTOP FANS, ETC.) TO BE PROVIDED WITH VIBRATION ISOLATION DEVICES.

GENERAL HVAC SPECIFICATIONS

- PROVIDE DUCTWORK IN ACCORDANCE WITH A.S.H.R.A.E. AND INTERNATIONAL MECHANICAL CODES CHAPTER 5 SECTION 506., LATEST EDITION. ALL DUCTS SHALL BE FABRICATED FROM PRIME QUALITY GALVANIZED STEEL AS PER A.S.H.R.A.E. STANDARDS. DUCTS SHALL BE INSTALLED AS HIGH AS POSSIBLE. PROPER ANGLE IRON SUPPORTS, HANGERS, ETC., SHALL BE PROVIDED FOR ALL DUCTS. SEAL ALL JOINTS OF DUCTS WITH HIGH PRESSURE SEALER. APPLY SEALANT TO OUTSIDE OF JOINTS AS PER MANUFACTURERS RECOMMENDATIONS. CONSTRUCT DUCTS IN ACCORDANCE WITH THE FOLLOWING:

MAX DUCT DIMENSION	U.S. GAUGE
UP TO 12"	26
13" TO 30"	24
31" TO 54"	22

CONSTRUCT ROUND DUCTS IN ACCORDANCE WITH THE FOLLOWING:

4" TO 8" DIAMETER	- 26 GAUGE
9" TO 24" DIAMETER	- 24 GAUGE
- EQUIVALENT DUCT SIZES MAY BE SUBSTITUTED IN LIEU OF THOSE SHOWN, IN ORDER TO AVOID INTERFERENCE WITH STRUCTURE AND OTHER MECHANICAL SERVICES. CONTRACTOR TO PROVIDE DRAWINGS OF ANY PROPOSED CHANGES TO ENGINEER FOR APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN DESIGN AIR FLOW WITH DUCT INSTALLATION. ALL SUPPLY & RETURN BRANCHES SHALL BE AT 45° TAKE OFFS.
- THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF EQUIPMENT PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED ELBOWS, DUCT ACCESSORIES, ETC. TO COMPLETE THE INTENT OF THE MECHANICAL DRAWINGS.
- HVAC EQUIPMENT MUST NOT BE USED DURING CONSTRUCTION. DUCT OPENINGS SHALL BE COVERED TO KEEP OUT DUST AND DEBRIS. COMMISSIONING MUST NOT BE PERFORMED UNTIL ALL INTERIOR FINISHES ARE COMPLETE.
- INSULATE ALL DUCTS IN ACCORDANCE WITH ASHRAE 90.1, LATEST EDITION.
- MECHANICAL EQUIPMENT TO BE ISOLATED FROM DUCT WORK USING 6" FLEXIBLE DUCT CONNECTORS ON BOTH THE SUPPLY AND RETURN DUCTS.
- ALL MITERED ELBOWS TO BE COMPLETE WITH DOUBLE THICKNESS AIR VANES. ALL RADIUS ELBOWS TO BE COMPLETE WITH SPLITTER VANES PER SMACNA DUCT CONSTRUCTION STANDARDS.
- PROVIDE VOLUME DAMPERS AT ALL DUCT BRANCHES AND TAKE-OFFS.
- PROVIDE AN INDEPENDENT FIRM CERTIFIED BY NEBB TO CONDUCT TESTING, ADJUSTING AND BALANCING OF ALL MECHANICAL SYSTEMS AND COMPONENTS, INCLUDING ALL DUCTS AND HYDRONIC PIPING. SUBMIT WRITTEN REPORT IN TRIPLICATE TO MECHANICAL ENGINEER UPON COMPLETION.
- MAXIMUM LENGTH OF FLEX DUCT PERMITTED IS 10' PER DIFFUSER. NO FLEX DUCT IS PERMITTED ON EXPOSED DUCT WORK.
- PROVIDE FIRE DAMPERS IN DUCTS AT FLOOR, WALL, CEILING, AND ROOF PENETRATIONS WHERE FIRE SEPARATIONS ARE CROSSED, AND WHERE REQUIRED BY LOCAL AUTHORITIES AND CODES. FIRE DAMPERS SHALL MAINTAIN 100% FREE AREA OF DUCTWORK (TYPE 'B' FIRE DAMPERS). RATE FIRE DAMPERS TO MATCH THE FIRE RATINGS OF SEPARATION CROSSED. PROVIDE ONLY UL/C LABELED DAMPERS AND INSTALL AS SPECIFIED IN NFPA/CUA 90A.
- SUPPLY AND RETURN DUCTS SHALL BE CONNECTED TO THE HVAC UNIT THROUGH A FLEXIBLE NON METALLIC DUCT.
- 10' OF ACOUSTIC SOUND INSULATION SHALL BE PROVIDED TO THE DUCTS AT THE BEGINNING NEAR THE HVAC UNIT.
- SMOKE DETECTORS AT SUPPLY DUCTS SHALL BE PROVIDED TO AUTOMATICALLY SHUT DOWN UNITS UPON DETECTION OF SMOKE.

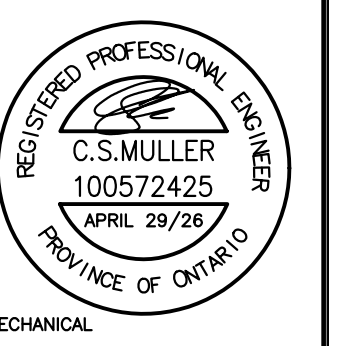
GENERAL PLUMBING SPECIFICATIONS

- ALL HOT AND COLD WATER PIPING AFTER THE MAIN BUILDING CWS ISOLATION VALVE SHALL BE HARD COPPER TYPE L PIPING WHICH SHALL CONFORM TO ASTM B42 AND ASTM B88.
- ALL DOMESTIC WATER PIPING TO BE INSULATED c/w VAPOUR BARRIER. PIPE INSULATION TO CONFORM O.B.C. TABLE 12.3.4.5.
- ALL DRAINAGE, WASTE, AND VENT PIPE TO BE PVC DWV WITH FLAME SPREAD RATING < 25. PIPES TO BE XFR WHERE PENETRATING FIRE RATED WALLS.
- WATER HAMMER ARRESTORS TO BE STAINLESS STEEL BELLOWS TYPE; WATTS SS-A OR APPROVED EQUIVALENT.
- ROUTE ABOVE GROUND PIPING IN CEILING SPACE OF WALL INTERIORS FOR CONCEALMENT WHERE EVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS. COORDINATE PIPE INSTALLATION IN WALLS WITH MASON AND OR DRYWALLER OR APPROPRIATE TRADE INVOLVED.
- INSTALL ISOLATION VALVES IN EACH BRANCH LINE FROM COLD AND HOT WATER MAINS, AT BASE OF EACH RISER, AND BEFORE EACH FIXTURE OR EQUIPMENT CONNECTED TO COLD/HOT WATER SYSTEM. PROVIDE A FIRE RATED ACCESS DOOR AT EACH CONCEALED VALVE.
- INSTALL FLANGES OR UNIONS TO PERMIT REMOVAL OF EQUIPMENT WITHOUT DISTURBING PIPING SYSTEMS.
- PROVIDE COMPLETE DRAINAGE AND VENT SYSTEMS TO SERVE FIXTURES AND ITEMS SPECIFIED AND AS SHOWN ON PLANS.
- WHERE EXPOSED PIPES PASSES THROUGH FINISHED FLOORS, WALLS, OR CEILINGS, PROVIDE CHROME PLATED ESCUTCHEON WITH SET SCREW.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY MATERIALS & LABOUR TO MAINTAIN ALL FIRE SEPARATIONS AFFECTED BY THE WORK PERFORMED.
- GRADE HORIZONTAL SANITARY DRAINAGE AND VENT PIPING AT MINIMUM 1:50.
- ALL PIPING FITTINGS WITH TERMINAL EQUIPMENT SHALL BE LEAD FREE.
- ALL PIPING IS TO BE STRAIGHT, PARALLEL AND PERPENDICULAR TO THE BUILDING STRUCTURE. SLOPE ALL PIPING TO DRAIN POINTS.
- WHEN PIPE LAYING NOT IN PROGRESS, CLOSE OFF OPEN ENDS OF PIPE WITH WATER TIGHT PLUG OR CAP.
- INSTALL CLEANOUTS AS REQUIRED BY PLUMBING CODES. SIZE OF CLEANOUTS TO MATCH SIZE OF ASSOCIATED SANITARY PIPE. ENSURE CLEAN OUTS ARE MADE ACCESSIBLE.
- CONNECT FIXTURES COMPLETE WITH SUPPLIES AND DRAINS, TRAPPED, SUPPORTED, SANITARY LEVEL AND SQUARE WITH HOT WATER FAUCETS ON THE LEFT.

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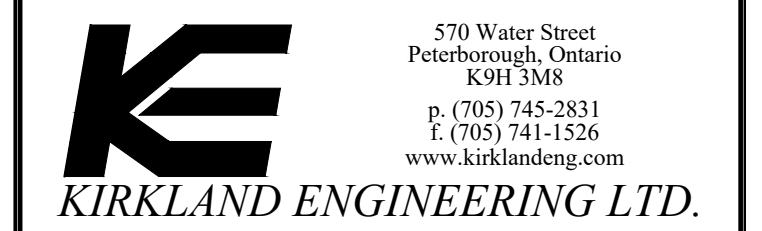
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PROJECT
OSM FIRE HALL ADDITION - POST DISASTER BUILDING
 535 Third Line
 Otonabee South Monaghan, ON

TITLE MECHANICAL SCHEDULES AND SPECIFICATIONS

DESIGN	CSM	SCALE AS NOTED
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M2